



RED SKY RANCH®
& GOLF CLUB

DESIGN GUIDELINES & REGULATIONS

SINGLE FAMILY RESIDENTIAL LOTS

Adopted July 2001

Amended November 2004

Amended March 2010

Amended May 2010

Amended February 2015

Adopted June 22nd 2018

Subject to further review & refinement





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SECTION 1
INTRODUCTION



RED SKY RANCH®

1 RED SKY RANCH...STILL THE WEST

Dramatic vistas, gently rolling terrain, an abundance of indigenous wildlife and vegetation, and seclusion from the pressures of urban life – these are often the images that come to mind when describing a classic Western landscape in the Rocky Mountains. At Red Sky Ranch, just such a piece of historic Colorado ranchland has been masterfully designed to preserve and enhance those images well into the next century.

With a reverence for native wildlife as well as the history of the land, only a very few homesites will be scattered across the vast acreage that comprises Red Sky Ranch. Generous spaces between homesites and carefully designed building envelopes ensure sensitive placement of homes in order to maximize the expansive views and privacy for each residence.

The scale and texture of this rolling ranchland has itself dictated an architectural style that minimizes intrusion onto this extraordinary landscape. Homes will nestle into the tapestry of aspen, fir, sagebrush, juniper, rock outcroppings and alpine wildflowers and feature a distinctive architecture that draws upon the romance of the Rocky Mountain ranch house designs.

Low-profile, single-story designs that hug the land, combined with the use of natural materials, will blend residences at Red Sky Ranch harmoniously and unobtrusively with their surroundings. Yet this Western ranch-style theme has been modified with artistic refinement, energy efficiency, and technological advancements designed to fit the individual lifestyle needs of today's resort homeowner.

These Design Guidelines outline the details for interpreting and executing the design of homes at Red Sky Ranch. Where's it's Still The West.



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SECTION 2
SITE DEVELOPMENT &
LANDSCAPE GUIDELINES



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2 SITE DEVELOPMENT & LANDSCAPE GUIDELINES

This section sets forth Guidelines and standards for the site development of each Homesite, including siting of structures, grading, drainage, planting and the design of outdoor living areas.

The intent of these Design Guidelines is to protect the character of the land and create new Improvements that are designed to blend with the natural topography and existing landscape. Site disturbance is to be minimized while the natural features of the Homesite are to be Preserved.

The character of the land will be protected and enhanced by the designation of “Building Envelope” on each Homesite, within which essentially all built Improvements are to be located, and by these site development Guidelines.

2.1 Building Envelopes

Building Envelopes are areas designated on the Lot Analysis Sheets within which all Improvements and site disturbance on the Homesite, except utility connections, septic systems, leach fields, driveways and landscape enhancements, are to occur. Some lots have a more restrictive DRB envelope designated in which all restrictions in this document apply.

A Lot Analysis Sheet has been prepared for each Homesite which indicates the Building Envelope, significant views, suggested access, areas of distinctive rock outcroppings, major tree groupings to be preserved and protected, and other factors affecting the development of the Homesite. See Figure 2.1.

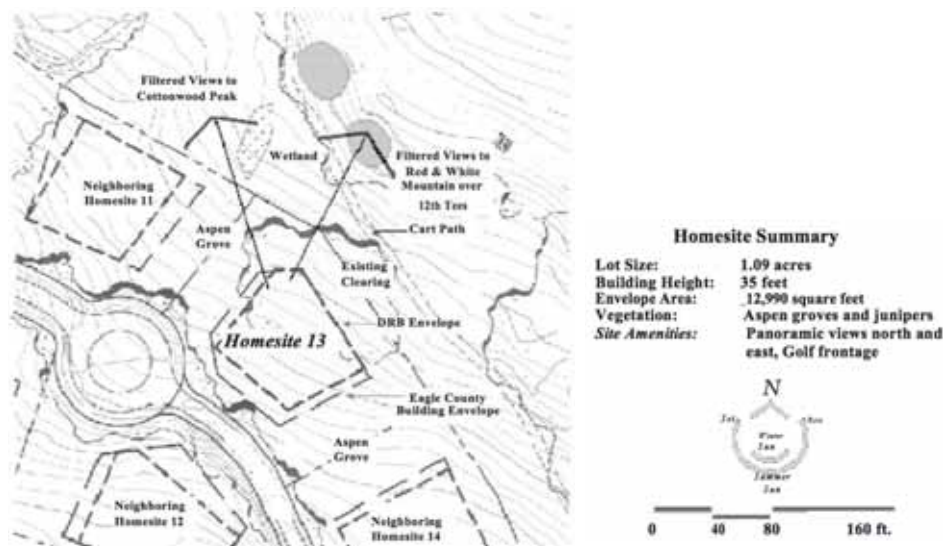


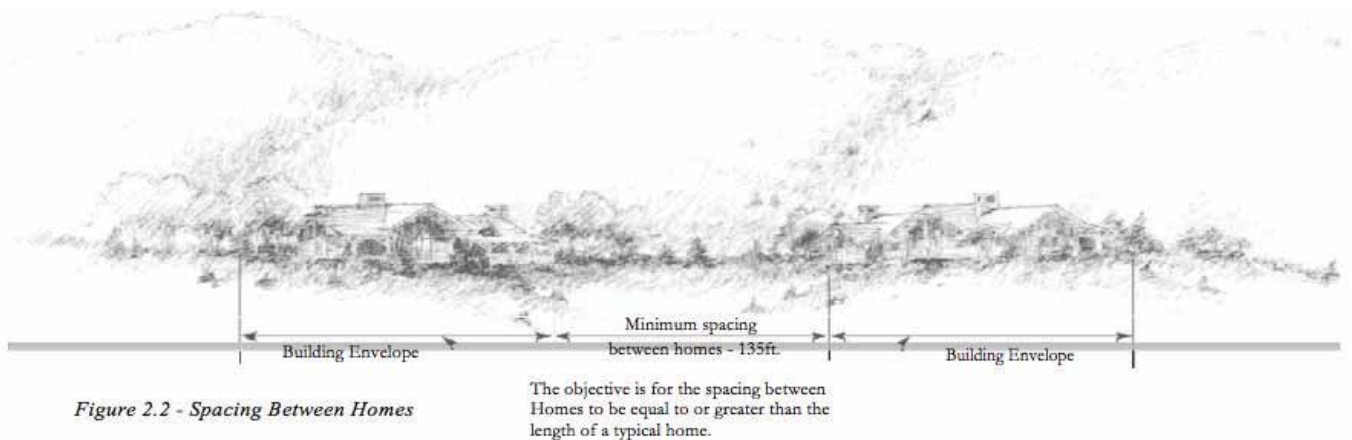
Figure 2.1 – Lot Analysis Sheet



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Building Envelope locations were determined based on the specific characteristics of each Homesite and on overall planning and design objectives for Red Sky Ranch. All new Improvements on each Homesite shall be designed based on the following, specifically:

- maintaining existing drainage patterns;
- minimizing grading and removal of vegetation;
- optimizing views from the home;
- protecting view corridors from other properties and/or common use areas;
- protecting sensitive environments;
- protecting and utilizing distinctive natural features - rocks, vegetation, and topography;
- blending man-made Improvements into the site;
- avoiding highly prominent land forms and skylines;
- utilizing microclimates;
- maintaining broad spaces between buildings that are generally equal to or greater than the length of each home, see Figure 2.2 and 2.3; and
- preserving the overall dominance of the natural setting by fitting buildings into the existing landscape.





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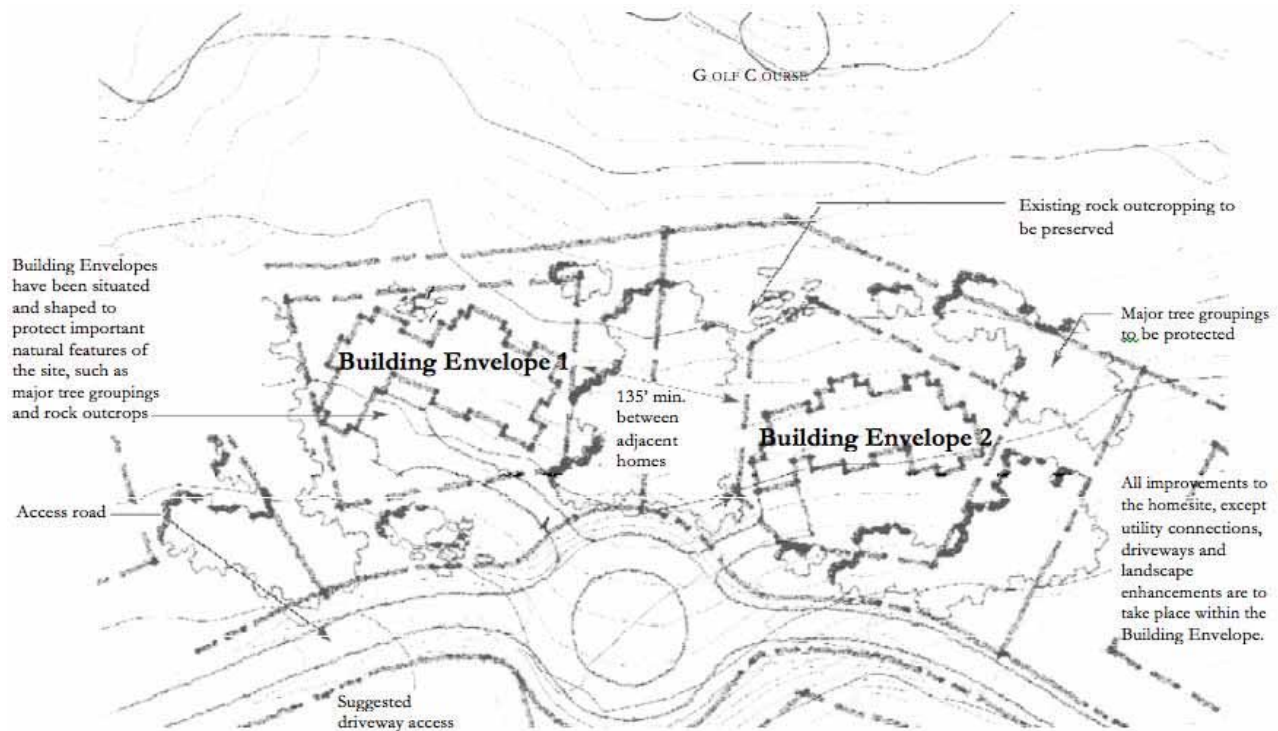


Figure 2.3 - Typical Building Envelope Characteristics

2.1.1 Combining Homesites

If an Owner combines two or more Homesites, a new Building Envelope location, size, and shape shall be pro-posed to the Design Review Board (DRB) for review, based on the new property lines and the principles listed in Section 2.1. The minimum spacing between homes will be increased to 200 feet for combined Lots. In addition, the Owner must submit an application to Eagle County for an amended plat to vacate the property line to modify the County approved Building Envelope, as designated on the approved plat.

2.1.2 Encroachments

All structures and site Improvements such as driveway turnarounds, parking areas, patios, pools and Accessory Buildings are to be located within the Building Envelope. A specific area has been selected for septic systems and leach fields out-side the Building Envelope that minimizes disturbance.



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It is recognized, however, that each Building Envelope presents its own unique design challenges and Owners and their Architects may develop solutions involving encroachments outside of the Building Envelope, which may be appropriate in a few limited cases. The DRB has the authority to approve encroachments that have been approved by Eagle County and that meet the objectives of these Guidelines and specifically the principles listed in Section 2.1.

Owners may follow one of the procedures outlined below to amend a Building Envelope:

Administrative Procedure — The Owner shall submit to the DRB an amended plan prepared by a licensed surveyor showing the approved and the proposed Building Envelope (revision) along with the names, mailing addresses and written approval to amend the Building Envelope from the developer - owner of the golf course, all Owners of property abutting, directly across the street or within 200 feet of the property for which the Building Envelope amendment is requested.

Public Meeting — The DRB may call a public meeting, notice of which will be sent by first class mail at least 30 days prior to the DRB meeting to Owners of property which have a boundary line abutting, directly across the street from or within 200 feet of the property for which the Building Envelope Amendment is requested. Such notice shall state the general nature of the DRB hearing and the date of the DRB hearing. Opinions of those surrounding property Owners will be solicited by the DRB.

In either case, the Building Envelope Amendment may be approved by the DRB if the DRB finds that the Building Envelope Amendment:

- does not substantially impact in an adverse manner the view corridor of any property Owner (including Owners of the Golf Course) to whom notice of the proposed Building Envelope Amendment has been sent;
- mitigates geologic or other hazard considerations;
- does not negatively increase the visibility of the proposed home from other areas within or out-side of Red Sky Ranch;
- does not substantially reduce the distance between the home and neighboring homes on adjacent Homesites; and
- is sensitive to the natural features of the Homesite and the principles listed in section 2.1.

2.2 Building Siting

Objectives:

- To blend buildings into the natural landforms, vegetation and unique characteristics of the Homesite;



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- To minimize the visual impact of buildings and related structures;

Guidelines:

It is intended that all Improvements in Red Sky Ranch are to blend with the existing topography. Therefore, the following principles for building siting should be followed:

- The long axis of the home and the principle building mass should be oriented parallel to the contours. In order to capture a primary view, the DRB may, at its sole discretion, permit building masses to be oriented across contours provided all other requirements (building height, single-story expression, etc...) are met.
- Existing features, such as trees or rock outcroppings are to be protected and integrated into the design of the home and its grounds.
- Outdoor living areas, such as terraces, pools and lawns are to be completely within the Building Envelope and have minimal visibility from off-site;
- All Improvements, driveway turnaround areas, site disturbance and grading around the building must be located within the Building Envelope;
- The finish floor elevation of any walkout or garden level basement must be set at an elevation of no more than 24 inches above the existing grade of the lowest point where the structure meets the ground. Where columns, supporting decks, overhanging roofs or balconies, meet the ground at a lower elevation than the building wall, the same rules apply.

Finish grade must then be revised to 6" below the walkout basement's finish floor level. See Figure 2.4.



Figure 2.4 - Building Siting



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2.3 Site Disturbance

Objectives:

- To protect the natural features of the Homesite;
- To minimize the disturbance area.

Guidelines:

All site disturbance is to be minimized and must take place within the Building Envelope with the exception of those caused by driveway construction, septic systems, leach fields and landscape enhancements. All disturbed areas are to be revegetated in accordance with Section 2.7.

Outside the area of disturbance, the Homesite is to remain in an essentially natural condition, maintained to blend with the ad-joining predominantly natural areas. Within those conditions, limited tree cutting, new plantings of approved types, and clearing for fire safety are permitted beyond the limits of disturbance, as described herein and subject to DRB approval.

2.4 Grading

Objectives:

- To protect and preserve existing vegetation;
- To blend site Improvements with the natural land form.

Guidelines:

Grading is to be designed as a combination of cuts, fills, and retaining walls that protect stands of trees and blend into, and/or appear to be extensions of existing natural landforms. Slopes are not to exceed 3:1 unless it can be demonstrated that a steeper slope will not erode. Whenever possible, natural slopes are to be used instead of structures. Cut and fill slopes are to be revegetated with native plant materials and blended into the surrounding environment.

The DRB requires that a professional engineer or landscape architect registered in the State of Colorado prepare a full set of drawings including grading and drainage plans and sedimentation and erosion control plans for new construction.



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2.5 Retaining Walls

Objectives:

- To minimize disturbance of the site;
- To integrate new Improvements into the existing topography;
- To use stone that appears to be indigenous material, salvaged from the site, constructed using traditional methods in a dry stack method that appear to be structural stone walls.

Guidelines:

Site walls are to be built of approved boulders or laid stone, reinforced and/or backed with concrete where required. All walls shall appear to be extensions of building foundations walls. Railroad tie or other timber walls will not be permitted. Site walls in excess of 6 feet in height that are visible from off-site are not permitted. Stepped-back or terraced wall structures with 3' minimum planting benches are to be used where grade changes exceed 6 feet.

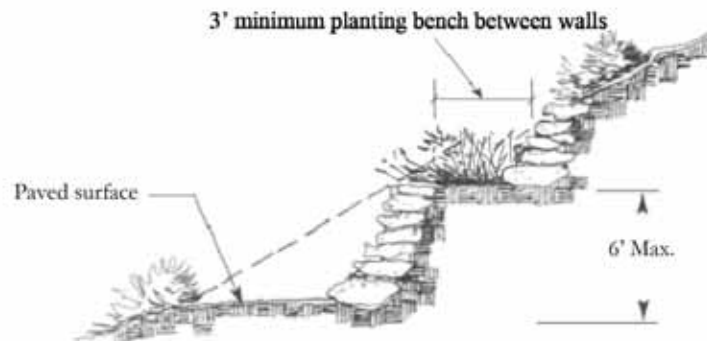


Figure 2.5 - Section at Retaining Wall

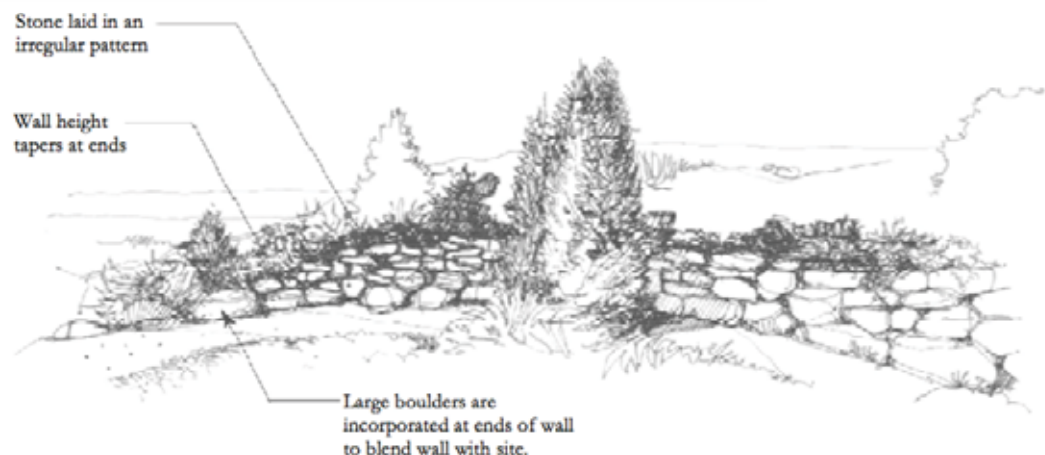


Figure 2.6 - Wall End Detail



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Higher walls at driveways may be approved by the DRB when, due to site topography, they would significantly reduce overall impacts to the site. Any walls in excess of 4 feet in height are to be designed by a professional engineer registered in the State of Colorado. The tops of walls shall be shaped to blend with natural contours. Ends of walls should not be abrupt, but are to be designed to make natural-looking transitions into the existing landforms and vegetation. Walls are to be designed with a bat-ter.

See Figures 2.5 and 2.6.

2.6 Draining Systems and Structures

Objectives:

- To preserve existing drainage patterns;
- To minimize erosion;
- To minimize artificial looking drainage structures and/or systems.

Guidelines:

In general, natural drainage courses will be protected and existing drainage patterns maintained. New drainage ways are to be de-signed to appear and function like natural drainage ways. Sheet drainage may not be increased and existing sheet drainage areas are to be maintained to avoid erosion. Headwalls, lined ditches, and similar drainage structures, visible from off-site, are to be built of, or lined with, an approved Red Sky Ranch stone. Ends of metal or concrete pipes are to be concealed. See Figures 2.7 and 2.8.

Approved Red Sky Ranch
rock at headwalls and inlets

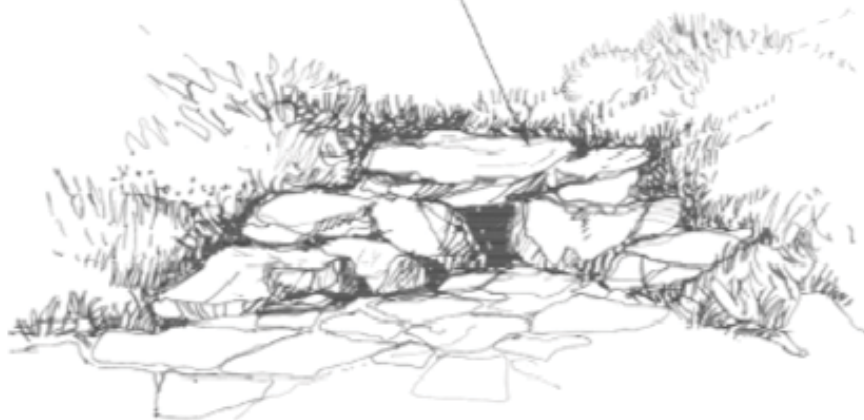


Figure 2.7 - Typical Headwalls

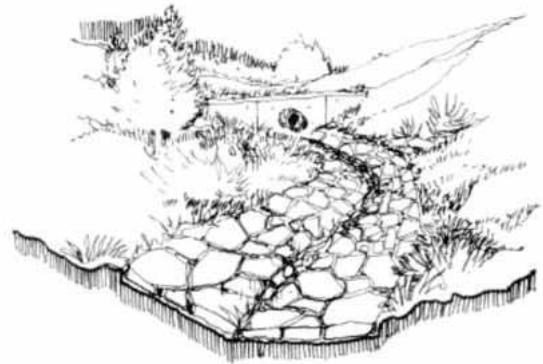


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This...

Boulders of various sizes placed in a natural pattern.



...Not This

Drainage utilizes man-made materials in an unnatural and artificial looking pattern. Metal pipe unconcealed.

Figure 2.8- Channelized Drainage Structures

2.7 Landscaping and Plant Materials

Objectives:

- To revegetate disturbed areas with native material to obscure the line of demarcation between new and existing landscaping;
- To preserve and enhance existing landscape patterns;
- To use landscaping to blend new Improvements into the natural land forms and vegetation.

Guidelines:

The new landscape for each Homesite shall blend with the natural landscape setting. Specifically, new landscape plantings shall be consistent with the existing native species on the property and adjacent properties. New plantings are to be used to enhance the important viewsheds, define use areas on the Homesite, reduce the visual impact of the residence, and screen outdoor service areas and other Improvements from adjacent Homesites and off-site views. Landscape Improvements are to incorporate, rehabilitate and enhance existing vegetation, utilize indigenous species and minimize areas of intensive irrigation. The following Guidelines apply to new landscape treatments:



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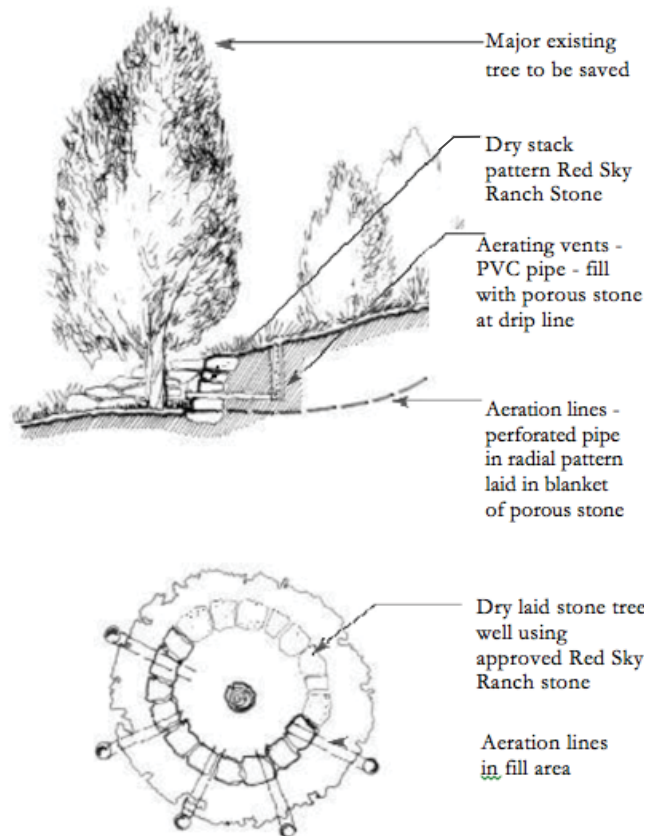


Figure 2.9 - Tree Well Design when adding fill under Drip Line

- New trees and shrub plantings are to be a mix of sizes that will blend naturally into the surrounding vegetation:
 - *Deciduous trees* - 60% at 2 – 2.5” and 40% at 2.5 to 3”
 - *Evergreen trees* - 10% of mix less than 6 foot height (junipers and pinions only); 40% of mix minimum 8 foot height; 45% of mix minimum 10 foot height; 5% of 12 foot height and larger. The DRB encourages a diversity in native trees. All non-native species must be planted within 30 feet of the residence.
 - *Shrubs* - 90% of mix 5 gallon containers; 10% of mix minimum larger specimen ball and burlap material
- The use of large specimen trees and shrubs is required in areas close to the house to help blend the building with the site.
- Ground covers, wildflower sod and seeding are to be installed using native material and standard local practices.



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- In areas immediately adjacent to building Improvements that are not visible from off-site, a greater variety of plant material including introduced and non-native plants and lawns are permitted. Manicured or groomed yards, terraces, and pools are to be restricted to areas confined by buildings, walls, plantings or other defined edges and are to be permitted only within the Building Envelope. See Figure 2.4.
- Eagle County permits a maximum of 5,000 square feet of permanent irrigated area per home. See allowable irrigation chart.
- Native grasses are intended to be in their natural state.
- Building Improvements are to be designed around existing major tree stands on the Homesite. Tree protection and fertilization measures are to be taken, under the direction of a certified professional arborist, on all large trees (6 inch caliper or more) within 30 feet of construction activity including trees outside of the Homesite.
- The intent at Red Sky Ranch is to preserve existing trees whenever possible. Where existing trees are located within disturbed areas, approved Red Sky Ranch tree wells are to be used. See Figure 2.9.
- Large Junipers may not be removed from the Homesite without prior approval from the DRB.
- Major trees, including Junipers, are to be identified and protected through the process outlined in Appendix G - Construction Activities and Compliance Deposit Regulation and Appendix H - Tree Removal Procedures.
- Plant materials used for erosion control are to establish rapid surface stabilization. The DRB may also require that other stabilization measures, such as jute matting, be employed.
- Landscape boulders are to match the native stone and rock outcroppings found on the site. Boulders shall be placed in a natural pattern to mimic those found on-site.
- Riparian and wetland areas are to be protected during construction. Riparian and wetland areas are designated on the Lot Analysis Sheet and on the Development Plan. Fencing and protection measures are outlined in Appendix G, Construction Regulations.

2.7.1 Tree Removal and Selective Thinning

The removal of trees on Homesites is not permitted except at areas to be cleared for driveway, home construction and approved fire mitigation plan. The DRB may approve tree removal and/or selective tree thinning within the designated Building Envelope upon Owner's presentation, in writing, of specific information and circumstances that warrant such removal. Unauthorized removal or cutting of trees by Owner or Owner's contractor/representative is subject to fines of up to \$10,000 per tree. Refer to Appendix H - Tree Removal Procedures of this document for procedures to follow for DRB review of proposed tree removal.



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2.7.2 Wildfire Safety Measures

Portions of Red Sky Ranch are located in wildfire hazard areas. A number of measures have been implemented that reduce the risk of wildfire in Red Sky Ranch. For example, all homes are required to have sprinkler systems and all wood shake roofs are required to be fire retardant. Outdoor fire pits and fireplaces are only to be gas fired.

In addition, existing and proposed roadways provide natural fire breaks. Nonetheless, it is essential that Homeowners be aware of the possibility of wildfire and also be aware that the threat of wildfire can be greatly reduced with thoughtful planning and preventative landscape maintenance.

The goal of fire-safe landscaping is to reduce the amount of potential fire fuel immediately surrounding a home. Along with the use of low fuel loading plant material, a 30-foot safety zone in all directions around a home is recommended. The following actions are recommended within this zone:

- Dispose of slash and debris left from thinning and periodically mow dry grasses and vegetation;
- Stack firewood away from the home;
- Maintain an irrigated area (within area limits imposed by Eagle County);
- Remove dead limbs, leaves, needles and other materials. This should also be done in areas out of the safety zone.
- Reference Eagle County Wildfire Regulations

2.7.3 Water-Features

Design Review Board approval is required for the construction of water-features, with the exception of those located within a private space. A private space is defined as an area not visible from road right of ways, pedestrian easements, neighboring properties or the Golf Course. Water-features shall be located within the platted Building Envelope and shall be designed in a naturalized manner, using indigenous materials that are common to the surrounding landscape in order to enhance the native environment.



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2.8 Driveways

Objectives:

- To blend driveways to existing topography;
- To preserve the natural features of the Lot;
- To maintain the natural ranch character.

Guidelines:

Driveways are to be a maximum of 12 feet wide, except where they provide a turnaround at a garage and/or off-street parking. Parking and turnaround areas are to be located within the Homesite. Every effort shall be made to minimize the paved areas of driveways and turnarounds while still conforming to parking requirements described herein.

Driveway access points are limited to one per Homesite. Suggested driveway access locations are indicated on the Lot Analysis Sheet for each Homesite. All driveways are to follow alignments that minimize grading, tree cutting, or other disruption of the Homesite.

The driveway, parking and garage layout should minimize the visibility of garage doors and off-street parking from the street, from the major views from adjacent property and the golf course.

Driveways are to be built of asphalt paving, generally without curbs. The first 40 feet of the driveway shall be asphalt to match Red Sky Ranch roads. After the first 40 feet, the driveway may introduce a different material provided there is a smooth transition from one material to another. Where curbs are required for drainage purposes or traffic control, they are to be made of stone or colored concrete approved by the DRB. Colors of finished paving materials are to be selected to blend the new construction into the surrounding earth colors.

Heated driveways are recommended if the driveway gradient exceeds 10%. Maximum gradient on driveways may not exceed 12%, except for the first and last 20 feet of the driveway, which shall have a maximum gradient of 5%.

If a driveway access location change results in a change to the address sequence, the homeowner must apply for a new address assignment from Eagle County. The DRB shall be notified when a new address has been assigned.



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2.9 Parking Requirements

Objectives:

To ensure adequate on-site parking for residents and guests within the Building Envelope.

Guidelines:

When building Improvements are completed on a Homesite, a minimum of two parking spaces per dwelling unit is required. Homes which contain more than 4,000 square feet of Maximum Gross Floor Area require an additional one-half (0.5) parking space per bedroom (fractions are to be rounded up). Each home must have a garage sized at a minimum to park two cars and a golf cart.

2.10 Paths, Outdoor Stairs and Terraces

Objectives:

- To blend outdoor site features into the natural topography and vegetation;
- To utilize natural materials that augments the architecture of the buildings and reinforces the ranch character;
- To provide for outdoor spaces that are natural extensions of the indoor areas of the buildings.

Guidelines:

Paths, outdoor stairs and terraces are to be designed to blend with the natural topography and vegetation and with retaining walls, fences, or building foundations. All Improvements shall be located within the Building Envelope.

Approved materials for outdoor use are native stone, chipped stone, decomposed granite, stamped concrete, wood or similar high quality materials. See Figure 2.10.



Figure 2.10 - Outdoor Stairs



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2.11 Fences and Gates

Objectives:

- To allow for privately fenced areas while maintaining views and a consistent ranch character;
- To minimize disturbance to the natural vegetation;
- To utilize fence designs that draw upon western ranching traditions.

Guidelines:

Fences may be built within the Building Envelope. No property line fences are permitted. Fence designs must be selected from the approved Red Sky Ranch fence alternatives as designated in Figure 2.11. Approval will be subject to review of an onsite mock-up panel of the fence proposed.

Fences for pool enclosures may not exceed 5 feet in height and shall be designed in accordance with applicable Eagle County codes and subject to approval by the DRB. Dog runs may have fences that are taller, provided they are located where they are not visible from off-site. The intent is for pool and dog run fences to be essentially not visible from adjacent properties. Wire mesh can also be added to wood rail fence for pet enclosures.

Gates are permitted only as a component of an approved fence or wall and must be located within the Building Envelope and not at the ends of driveways.

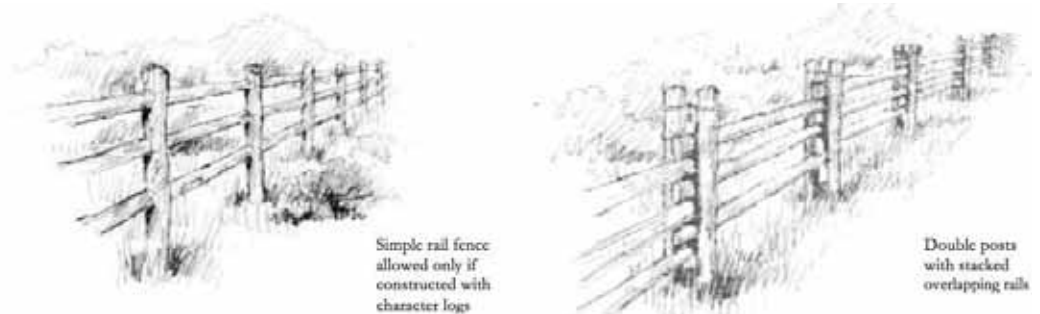


Figure 2.11 - Fence Designs



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2.12 Outdoor Lighting

Objectives:

- To provide safety and identification at entrances, driveways and walkways;
- To minimize off-site impacts of site lighting.

Guidelines:

Outdoor lighting is to be minimized, and used essentially to meet the requirements of safety and easy identification of entrances, driveways and walkways. The address marker described in Section 2.15 will mark the driveway entrance.

The style of the light fixtures should generally be Colorado rustic, craftsman or mountain modern in character, subject to the discretion of the DRB. With the exception of 3 or 4 lights at key locations, all exterior lighting is to be indirect, so that the light source is not visible. Hooded and soffit “can” lights can be used, provided the light source is concealed. Highlighting of architectural features is not permitted. Reflecting light off the underside of overhanging roof elements is acceptable in subtle ways. Temporary holiday lighting is exempt from this regulation.

Regularly spaced lights along driveways are not permitted. In some cases the DRB may approve the placement of low level lights at key places along the driveway for safety purposes, provided they meet the design requirements herein. Guard rails with reflectors may be used to help mark the driveway, instead of lighting. Except for low level lighting of driveways, as mentioned above, exterior lighting is to be located within the Building Envelope.

Flood lighting for emergency purposes may be permitted, provided the sources are not visible from off-site. “Moonlighting” and up-lighting of vegetation or structures is not permitted.

2.13 Exterior Service Areas / Satellite Dishes

Objectives:

- To completely screen service areas and outdoor equipment from neighboring properties and off site.



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Guidelines:

Trash disposal, outdoor work areas and outside equipment are to be completely screened from off-site views and, as appropriate, made inaccessible to wildlife, by using architectural features integrated into the building design and/or site walls designed as extensions of the building.

Satellite dishes must be substantially screened from off-site views. An application, application fee, and proposed location for all satellite dishes must be received by the DRB for review and approval prior to satellite dish installation. See Appendix E.

2.14 Utilities

Objectives:

- To minimize disturbance due to utility installations;
- To minimize visibility of utility boxes from streets, the Golf Course and off-site.

Guidelines

Utilities are to be installed underground on alignments that minimize grading, tree cutting and other disruption of the land. Long, straight cuts through existing vegetation are to be avoided. Utility boxes, including any meters, are to be located and/or screened from off-site views. All exposed metal related to utilities (meters, outlet covers, etc.) must be painted to match adjacent natural materials. Septic systems and leach fields are to be located at the pre-selected areas shown on the Lot Analysis Sheet and in-installed in accordance with the Red Sky Ranch Septic Detail. Any proposed variation is subject to field review by the DRB.

2.15 Address Markers

Objectives:

To provide a consistent address marker design that draws upon the Rocky Mountain ranch style of the Community.

Guidelines:

An identification sign/address marker for the Homesite will be installed and maintained by the Metropolitan District. The design will be appropriate for the Rocky Mountain ranch motif of Red Sky Ranch and will include the address and a light fixture to illuminate the address.

2.16 Other Improvements

Objectives:

To minimize visibility of miscellaneous Improvements allowed within the Building Envelope.



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Guidelines:

The DRB may approve pools, dog runs or similar Improvements which are to be located entirely within the designated Building Envelope and completely screened from off-site views.

2.16.1 Hot Tubs

The Design Review Board may approve hot tubs provided they are located within the platted Building Envelope. Any and all equipment associated with the hot tub, including underground equipment vaults, must also be located within the Building Envelope and in a manner that minimizes site disturbance. The Design Review Board may require landscaping to help screen the hot tub from off-site views (i.e. adjacent properties, roadways, Golf Course, etc.). The Design Review Board will take into consideration desired views from the hot tub in the placement of any required vegetative screening. It is preferred that hot tubs are fully recessed, however, at a minimum, hot tubs must be recessed into the ground at least one-half their height the portion above ground must be surrounded by a wall faced with stone that matches the stone on the building. Exposed siding for an access panel must be stained to match the adjacent stone surrounding the hot tub. Any proposed lighting associated with the hot tub that is necessary for code must be minimized and submitted for review by the Design Review Board. Hot tub covers must be a color that is compatible with the surrounding environment and must meet all applicable building code requirements.

2.16.2 Air Conditioning Units and Mechanical Equipment

All air conditioning units and mechanical equipment must be located within the platted Building Envelope. The placement of air conditioning units or other mechanical equipment shall be located to minimize visual and auditory impacts from off-site. Specifically, such equipment shall not be located where noise will adversely affect neighboring properties or the Golf Course. Air conditioning units or other mechanical equipment must have a noise rating of 55 decibels or less when measured at the nearest property line. It is preferred that boilers, pool equipment and other similar mechanical equipment be located within an underground vault. However, all mechanical equipment must be screen from off-site views, including views from the Golf Course, and be located and constructed in a manner that minimizes site disturbance. When evergreen vegetation cannot be used to screen mechanical equipment/air conditioning units, the DRB may require the construction of a barrier or enclosure around such equipment to screen them from off-site views. The DRB may also require the construction of a barrier around mechanical equipment/air conditioning units to absorb, redirect and attenuate any potential sound of such equipment/units. This barrier may also require a partial roof to attenuate sound. All barriers/enclosures shall be constructed to be consistent with the architecture and finishes of the residence.



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2.16.3 Exterior Fire Pits

No outdoor wood burning fire-pits are allowed within single family lots in Red Sky Ranch. No open fires shall be permitted on any property except in a contained barbecue unit while attended and in use for cooking purposes or within a safe and well designed gas burning device, which may include a gas fire-pit. Each property is limited to one gas fire-pit that must be approved by the DRB and must be contained within or built on an approved patio/hardscape area, located within the Building Envelope.

2.16.4 Sculptures and Artwork

Design Review Board approval is required for the placement of all sculptures and artwork with the exception of those located within a Private Space.

Unless deemed to be within a Private Space, the theme of sculptures and artwork shall be indigenous and sensitive to the mountain environments. The material(s) for sculptures and artwork shall be limited to indigenous materials and shall be non-reflective. Bronze sculptures are acceptable provided they are non-reflective. A sculpture shall be no greater than 1 ½ times life-sized. No lighting of sculptures is permitted.

2.17 Energy and Water Conservation

Objectives:

- To encourage energy and natural resource conservation.

Guidelines:

The Eagle County Resource Conservation Award is a voluntary incentive program designed to encourage energy and natural re-source conservation in new and existing homes in Eagle County. In order to qualify for this award, homeowners must incorporate energy conserving measures into the design and construction of their homes. The Eagle County Building Department then eval-uates the energy conserving measures to determine whether an award has been earned. The following list is an example of some of the energy conservation options that should be considered:

- Bench buildings into hillsides
- Locate trees to provide windbreaks and shade
- Airlock/vestibules
- Radiant floor heating
- Super insulation, weather stripping, thermopane windows, etc.
- Water conserving toilets and flow-restricted faucets. Red Sky Ranch homeowners are encouraged to participate in this program. Please contact the Eagle County Building Department for additional information.



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2.17.1 Solar Devices

Objectives:

- To encourage the use of new technology solar devices.

Guidelines:

New technology solar energy devices such as solar “shingles”, or other similar unit pieces which can be installed as integral “unit pieces” within adjacent roof materials may be considered by the Red Sky Ranch Design Review Board on a case-by-case basis. In considering such devices, the DRB will consider the following design criteria:

- The location, visibility and reflectivity of the device(s) (simulated “shingle” or other unit pieces) from off-site (adjacent properties, roadways, golf course and cart paths).
- The texture and general appearance of the device(s) in relation to the adjacent roof materials – how well the device or unit piece simulates or “blends” with adjacent roof materials.

The DRB will consider the above criteria in determining how well such devices either blend with, or are concealed by roof forms. Where practical, the DRB will require such devices to be located on secondary, or minor roof forms that are less visible from offsite, but which provide the area needed for viable installation of such devices.

Such devices are encouraged as a means to reduce the amount of energy used in new and existing homes in Red Sky Ranch. In addition, the use of such devices also will further the goals of Eagle County and, specifically, may aid a homeowner or developer in achieving certain “points” towards meeting the requirements of the Eagle County ECO Build regulation. Please contact the Eagle County Community Development Department for additional information.

2.18 Wildlife Measures

Objectives:

- To develop homes where inhabitants can co-exist with wildlife.

Guidelines:

All dog runs and enclosures, when permitted by the DRB, in order to protect dogs, are to include a restrictive roof, or fenced top (except at fenced yard areas).

Proper garbage disposal is required to prevent wildlife from destroying property and/or posing a threat to residents and their pets. Dumpsters and individual trashcans are to be stored in an enclosure structure that is designed as “bear proof.”



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SECTION 3
ARCHITECTURAL GUIDELINES



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3 ARCHITECTURAL GUIDELINES

The following section sets forth Guidelines and standards for the design of Residences at Red Sky Ranch, including massing, height, color, materials and overall appearance. The intent is to encourage a diversity of design within the general western ranch house theme and at the same time produce a unified and consistent look to the community, reflecting this distinctive ranch setting. All improvements are to be integrated into the overall setting.

Inspired by the characteristics of the traditional ranch houses, from mountain ranches of Montana, Wyoming and Colorado, to the high deserts of New Mexico, the intent of these Guidelines is to create a concept at Red Sky Ranch to apply to today's Rocky Mountain lifestyle. This fundamental overall objective is to minimize the visual impact of the houses on the land by maintaining a low profile, single story look.

3.1 The “Ranch House” Concept

Objectives:

- Low profile, horizontal building massing
- Single story appearance
- Traditional western ranch house forms, massing, materials, and colors

Guidelines:

To maintain the low profile, single story look, houses may be designed with a main level and either a lower level ‘walk out’ or garden level basement, expressed as a part of the foundation, or an upper level with- ‘rooms in the roof’, which utilize dormer windows. Houses may have three levels of living space, but there are limitations on expressing two and/or three-story building walls. See Figure 3.1



Figure 3.1 - Low Profile, Single Story Ranch House



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3.2 Building Massing and Composition with the Site

Objectives:

- To develop low profile, horizontal buildings that merge with the land;
- To develop homes that reflect the western ranch tradition;

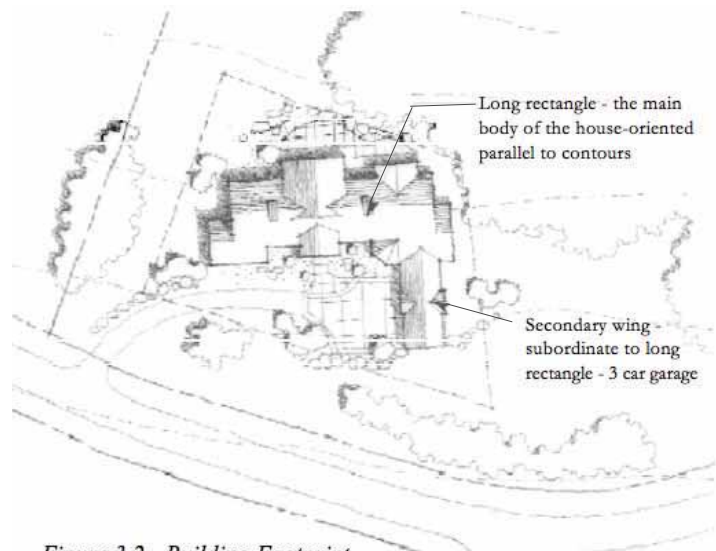
Guidelines:

This section outlines the requirements for the composition and massing of building forms. Each requirement draws upon the traditional design principles of western ranch buildings.

3.2.1 Building Footprint

The plan of the house is to consist of:

- A long rectangle, the main body of the house, oriented parallel to the contours (unless otherwise approved by the DRB);
- Attached or detached secondary wings, subordinate to the long rectangle;
- Where secondary elements of the house are aligned across contours with a slope in excess of 10%, these elements shall step to follow the topography;
- Garages may either form part of the main mass of the building or they may be detached buildings. Garages for up to 3 cars and a golf cart are permitted for all homes. Larger garages may be permitted, but shall not exceed 15% of the Gross Floor Area of the house;
- A maximum of three detached buildings will be permitted on each Homesite, including the primary residence;
- Buildings connected by breezeway elements shall be considered separate detached buildings for this purpose;
- Structures for the storage of boats or motor homes are not permitted.



See Figure 3.2

Figure 3.2 - Building Footprint



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3.3 Building Forms

Objectives:

- To develop low profile, horizontal buildings that merge with the land.

Guidelines:

Intersecting gables shall not project above the roof line of the main roof ridge, except for one primary intersecting gable, as described below. See Figure 3.3. Additional intersecting gables may be the same height as the adjoining roof ridge but may not extend to the ground. The primary mass on the uphill or entry side of the house is encouraged to appear one story maximum in height.



Figure 3.3 - Low Profile, Horizontal Building Forms

3.3.1 Single Story Expression

Because of the rolling terrain, many Homesites will have the opportunity for a “walk-out basement” or “garden level” living space on the lower level. In these cases, the lower level walls are to be expressed as part of the stone foundation walls of the house and separated from the upper walls of the house by continuous overhangs, at least 75% of which are porches, decks and roofs.

Porches or decks at the upper level are to be supported by lower level stone columns that appear to be part of the foundation and are larger in scale than the columns supporting the roofs on the upper level. See Figure 3.4 (following page)



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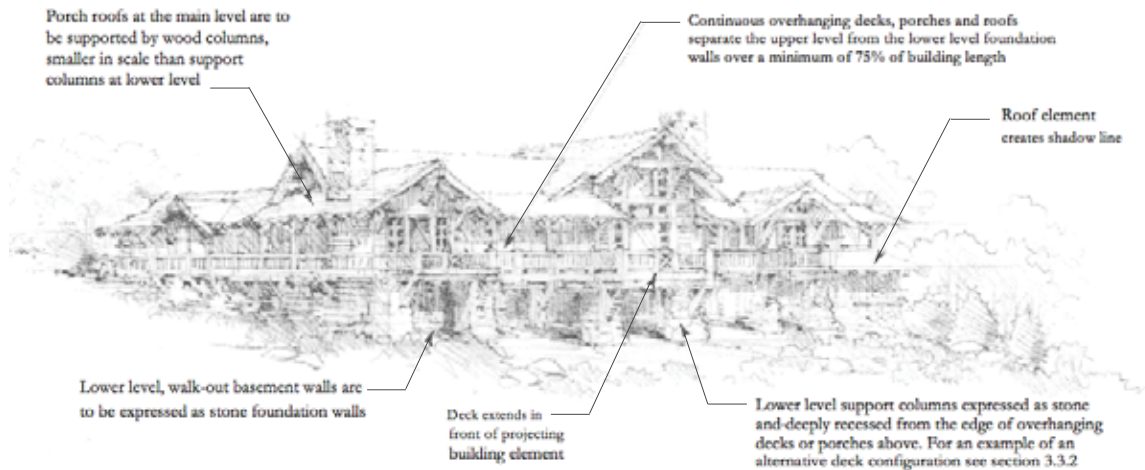


Figure 3.4 - Walk-out Basement

Living spaces may also be located in roof spaces, with windows in gable ends and/or dormers. See Figure 3.5. Generally gable elements and dormers shall be wider than they are tall and shall have minimum 2' overhangs on the sides. Dormers may be expressed as open gables or shed dormers. See Figure 3.6.

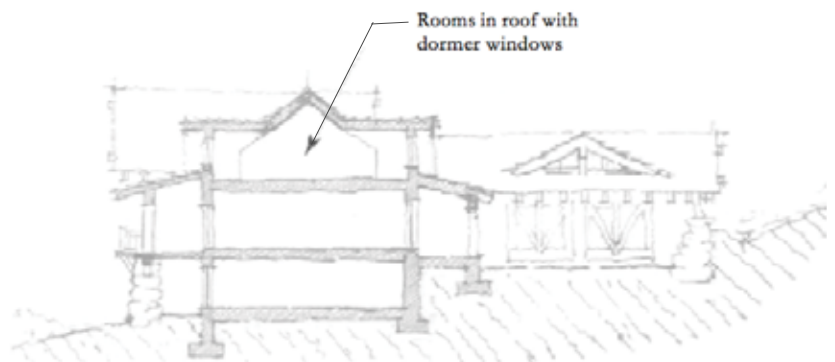


Figure 3.5 - Rooms in the Roof



Figure 3.6 - Rooms in the Roof



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3.3.2 Alternative Basement Treatment

In order to permit more light into the walk-out basement rooms, the DRB will consider alternative deck configurations, provided the intent of the low profile “Ranch House” concept described in these guidelines (Section 3.1) is achieved.

- The stone foundation wall on the walk-out side may be placed at the outer edge of a deck or porch (in other words, by extending the basement rooms to the edge of porch.) The wall is to appear to be an integral part of the foundation wall, under and adjoining the house and it is to merge with the land as shown in Figure 3.7. Large window areas are to be shaded by a projecting deck or other overhang.



Figure 3.7 - Alternative Basement Treatment

- The deck may be cantilevered and supported on brackets rather than stone piers (see Figure 3.8a)
- The DRB will also consider designs that do not have continuous overhanging decks and porches above 25% of a walk-out basement wall, provided that detailing and deep shadow lines are used to avoid a two-story look.

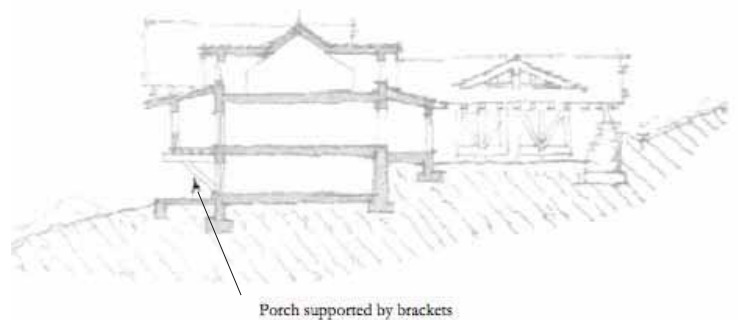


Figure 3.8a



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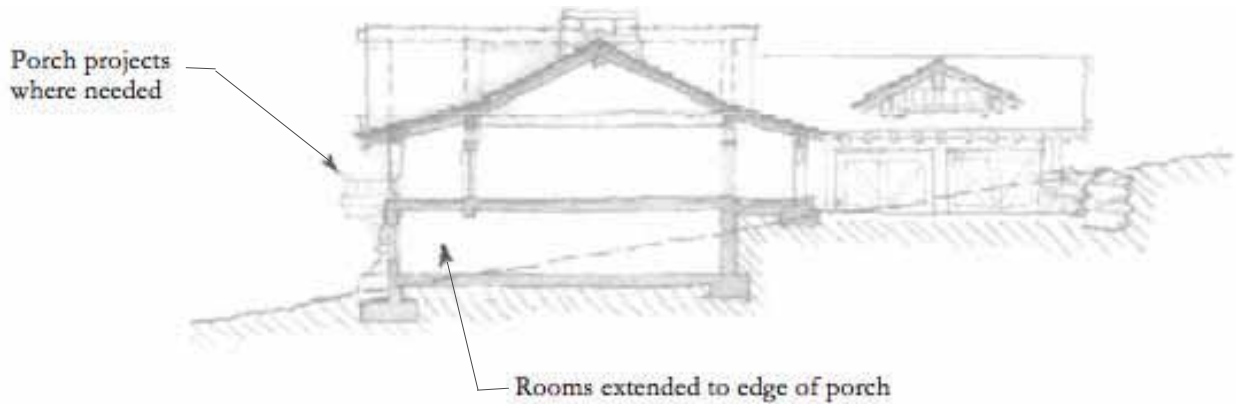


Figure 3.8b - Alternative Walk-out Basement Designs

3.3.3 Tower Special Exception

The DRB will consider a “Tower” as a special exception, provided it follows the guidelines outlined below.

- Location: The tower is to be located on the uphill side of the house and typically should be associated with a courtyard.
- Size: Maximum horizontal dimension is 18'. Maximum height to top of roof is 35'. Proportions are to be 2:1 height to width, min. width is 14 feet.
- Roof: Pitched roofs similar to other roofs on house are required. Hipped roof forms will be considered.
- Windows and other features are to follow the guidelines for the house.



Figure 3.9 - Tower



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3.3.4 Building Height

Building Height (exclusive of chi Building Height (exclusive of chimneys,)) is measured from the lowest point around the building at existing or finished grade, (whichever is lower,) to the high point of the main roof ridge of the main building mass. Existing grade is the natural topography that exists before any grading takes place. See Figure 3.10.

A detached secondary building or minor wings located uphill from the primary building may have a roof ridge at a higher elevation than that of the primary building, provided the secondary building's (or minor wings) building height does not exceed 25 feet to the roof ridge from the adjacent existing grade.

The overall intent is that building roof forms will be long and low, and that on steep slopes, (in excess of 10%), rooflines will be stepped to follow the contour of the land.

The specific height limits for each Homesite are shown on the Lot Analysis Sheets and listed in Appendix I - 'Homesite Restrictions Matrix' of this document.

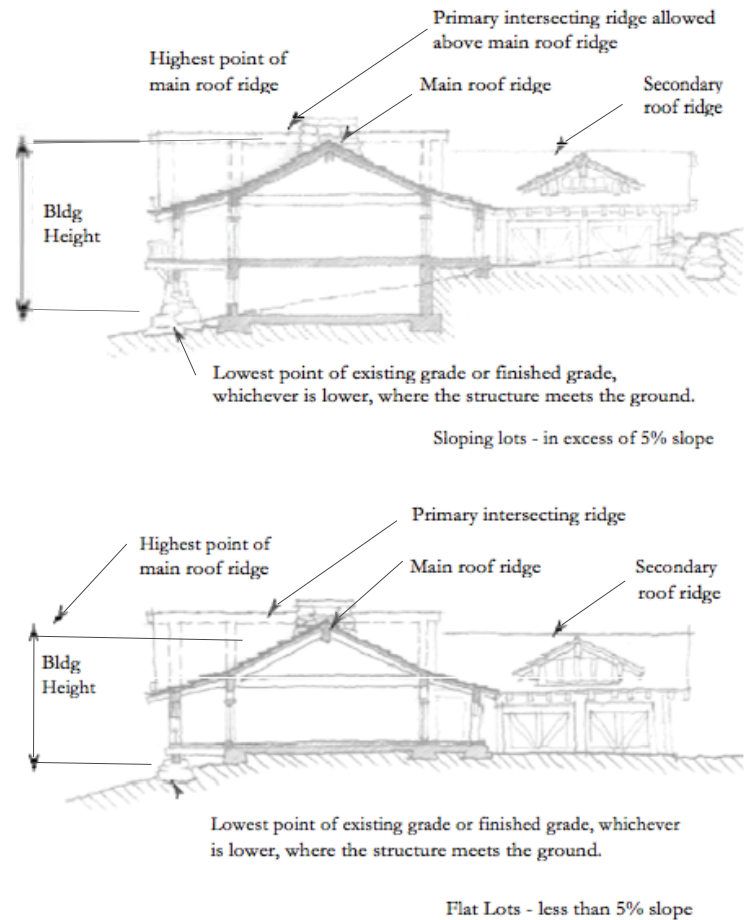


Figure 3.10 - Building Height Measurement



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3.4 Roof Design

Objectives:

- To express generally traditional ranch house roof designs;

Guidelines:

Roofs are to be simple, designed with big, bold forms that utilize open-ended gables on the main roof and secondary roof forms. Shed or flat roofs may be used on porches, dormers and smaller elements. Clipped-gables are not permitted. Hipped roofs may only be used on porches that wrap around the building. All roofs overhangs should be appropriately scaled for the architecture.

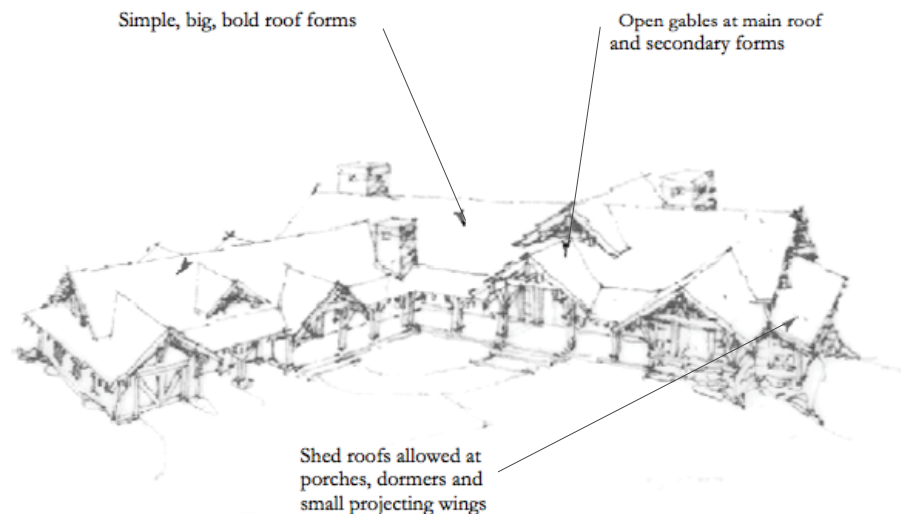


Figure 3.11 - Roof Design

3.4.1 Roof composition

The roof is to be the dominant element of the building. Long roof ridges with generally continuous eaves are required. Either double pitched roofs and/or covered porches are required over a minimum of 35% of the length of the main elevations of the house. Covered porches and the lower sections of the double-pitched roofs may have a shallower slope than the main roof. See Figure 3.13 and also Section 3.4.3 — Roof Pitches.

The continuous eave of the building may be broken by cross gables to provide for larger view windows from the living room, great room, family room, dining room and/or master bedroom. The ridge of only one of these gables may be higher than the main roof ridge. All other gable elements must be equal to or lower than the main roof ridge and at least



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one of these gables must be set back from the end of the continuous eave. An additional cross gable may be used to provide shelter for the main entrance to the house, however this gable may not break the main roof ridge and must be only one story tall.

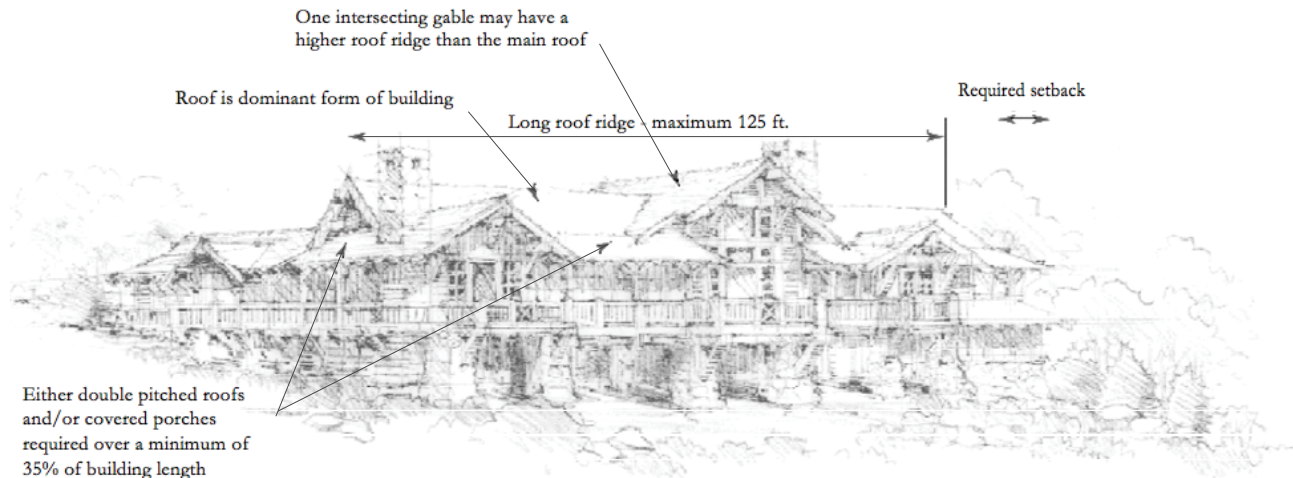


Figure 3.13 - Roof Composition

3.4.2 Maximum Ridge Length

Long low roof ridges are required, but in order to blend the homes into the rolling landforms, the length of the main roof ridge is limited to 125 feet. A longer house shall incorporate substantial breaks in the roof ridgeline, by stepping the ridge line 6 feet or more at each break, or by using lower roof forms at building ends. Alternatively, by turning or bending the ridge 30° or more in plan view, a bent ridge may be unbroken up to 160 feet.

3.4.3 Roof Pitches

Roof pitches are to be 8:12 or less. When combined with a porch roof or double pitched roof, the main roof may have a maximum roof pitch of 8:12 and the porch roof or lower roof may have a shallower roof pitch. For gable end elements and dormers, the maximum allowable roof pitch is 8:12. See Figure 3.14. Flat roofs are allowed on minor forms.



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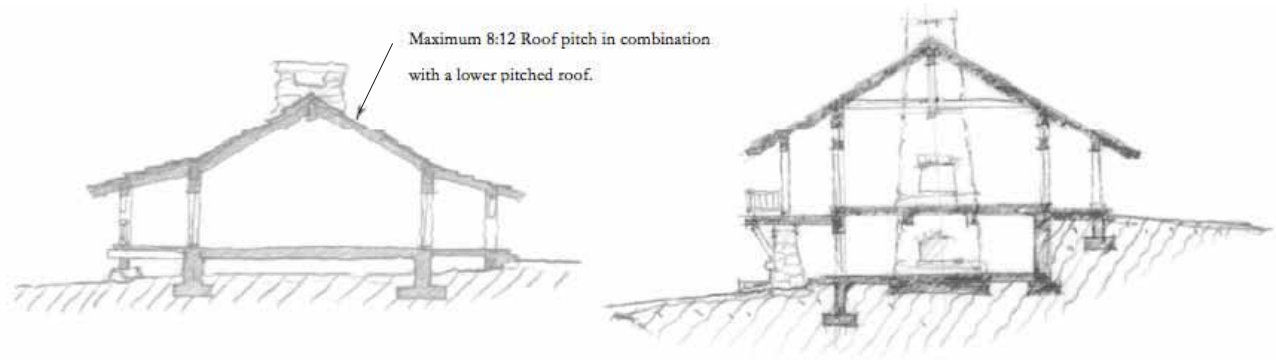


Figure 3.14 - Roof Pitches

3.4.4 Eaves and Rakes

Roof edges at eaves and rakes shall expose primary structural elements. Depths of more than 10 inches at fascias or eaves are unacceptable. See Figure 3.15.

3.4.5 Roof Materials

Each building shall have one predominant roof material, however, some combinations of materials are allowed. Acceptable roof materials are:

- Materials which simulate wood shakes (per specific DRB approval). The Red Sky Ranch DRB and HOA discourage the use of wood shake roof materials due to the risk of wildfires, and request that the Owner consider a Class A rated composite material.
- Natural metals in darker tones. Metals with sheen to receive a patina or oxidation should be accelerated.
- Earth covered roofs on minor elements.

3.4.6 Flashing, Gutters and Downspouts

Flashing, gutters and downspouts are to be visually minimized. Where required, they are to be constructed of durable metals, such as copper or to match metal roofing, which will weather to colors that blend with roofs and walls. Aluminum and galvanized steel are not acceptable.

Exposed downspouts are to be located to avoid long return sections from the eave to the wall of the house, and be integrated with vertical elements on the building such as structural columns or trim.



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3.5 Exterior Walls

Objectives:

- To maintain the single story expression of building walls using natural materials

Guidelines:

The main walls of the house are to be one-story high, or up to two stories high at the peak of gable ends. Wall materials are to be limited to two primary materials with limited use of a third. The DRB will also consider designs that call for combining two types of wood materials (e.g., board & batten or shingle siding above timber siding).

3.5.1 Stone Foundation Walls

Walkout basements must always be expressed as part of the foundation. The foundation wall may also extend up to the porch, deck railing height or window sill height.

When walls above the foundation level are surfaced with stone, the stone may be used for a complete wing of the house or the entire house. With the exception of chimneys, stone may not be used for individual elements, such as walls or decorative panels. Boardform concrete may be used in minor applications.

Stone surfaces are to be designed to have a “structural” appearance rather than a “veneered” look. Stone walls with or without visible mortar joints are allowed. However, mosaic patterns are not permitted. Dry-laid stone patterns are to look as if they could stand without mortar. In mortared stone walls, mortar joints should be a maximum of ± 3" wide and have a flush (or “smeared”) profile. Natural bedding planes are to be laid horizontally, and horizontal and vertical joints are to be frequently interrupted. Horizontal dimension of individual stone is to be greater than the vertical dimension. Drastic contrasting colors in the stone patterns and between the stone and mortar are not accepted.

3.5.2 Wood Siding Materials

Wood siding types are limited to two types per building. Approved wood siding materials are the following:

- horizontal timbers with or without chinking
- horizontal logs with chinking
- horizontal or vertical wood siding
- vertical board and batten
- rustic, natural colored shakes



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When combining siding types, lighter weight materials must always be used above heavier appearing materials. Wall materials may change at gables where the wall meets the roof eave. Breaks between different materials must occur only to define separate building wings, not to highlight individual gables and dormers such as at an entry.

3.5.3 Stucco Walls

Stucco may be used as a wall material. The stucco walls shall be limited to the main living level, not the foundation, and detailed as thick, adobe walls with rough or smooth texture (but not “swirls”) rounded or squared corners and deeply recessed window and door openings.

3.5.4 Metal Walls

Natural metals in darker tones. Metals with sheen to receive a patina or oxidation should be accelerated.

3.6 Structural Expression

Guidelines:

Primary structural systems for the buildings are to be visibly expressed throughout. The columns, beams, brackets, trusses, etc. that make up the roof, decks, porches, balconies and building wall structure shall all be exposed. Structural elements may be built of logs or timbers, but not a combination of the two. Exposed structural steel is acceptable; color must be dark grey or black.

Porches, decks or balconies projecting out beyond an enclosed building form, are to be supported on stone, heavy log, or timber structures no more than one-story in height.

3.7 Windows and Doors

Objectives:

- To allow windows to capture distant views;
- To minimize reflectivity of large areas of glass

Guidelines:

All glass areas are to be deeply recessed and shaded. Specifically, large areas of glass are to be shaded by projecting roof overhangs, balconies or porches, so that their visibility and reflections are minimized.



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In general, and subject to considerations of views and ample day lighting, solar and other energy-use considerations are to be applied. Glass may be coated and tinted to control solar heat gain, but a mirrored appearance is not acceptable.

Arched windows and doors may be used in stone or stucco walls but not wood. Windows and doors are to be designed with sills.

Doors, windows and door frames may be stained, painted, clad wood, or steel.

Refer to Section 3.11 for appropriate colors.

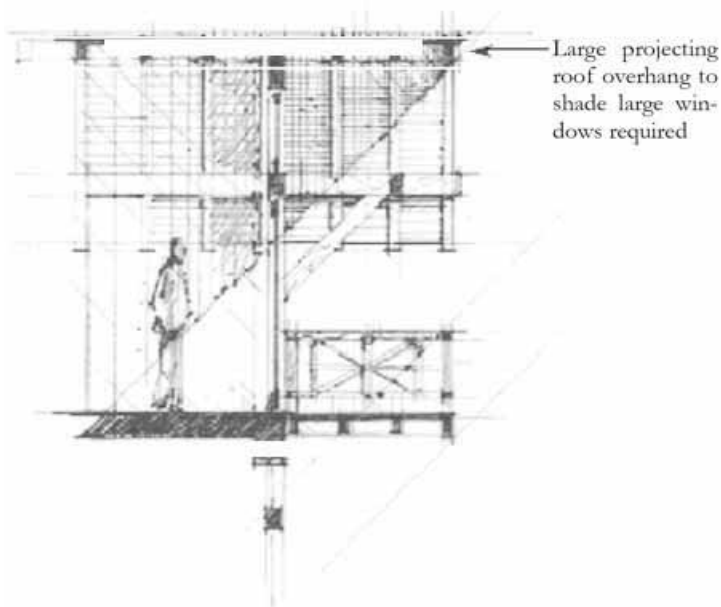


Figure 3.25 - Shading of Windows

3.8 Railings

Objectives:

- To allow for individuality and personal expression

Guidelines:

Railings on balconies, decks, stairs and porches, are to be made up of structures and materials that meet code requirements.



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3.9 Chimneys

Objectives:

- To conceal flues, vents and other mechanical equipment

Guidelines:

Chimney caps must meet current code requirements of Eagle County. Rooftop equipment and large vents may be grouped and concealed in chimney-like structures that are an integral part of chimney, roof and/or wall designs. All roof penetrations must be concealed and/or treated to blend with adjacent materials.

3.10 Colors

Objectives:

- To blend buildings into their natural setting

Guidelines:

The intent is to use the colors of traditional ranch houses that blend into the natural setting. In general, this means:

Colors must be such that they will blend the buildings into the surrounding landscape in early spring and late fall. Colors, stains and/or paints must be chosen to create the appearance of weathered materials. All exposed wood siding is to be treated with a semi-transparent stain or sealer to accentuate the grains and natural color variations in the wood. Opaque stains or paints may be used on wood trim.

Windows, doors and their related trim colors are to be selected from darker shades of red, green or other natural colors found on the site, and must complement the overall colors of the building. Bright or light colors, which create strong contrast, will not be acceptable.

Roof colors are to be the natural weathered colors.

3.11 Ancillary Buildings and Secondary Residences

Objectives:

- To integrate all site buildings in consistent design.

Guidelines:

Each Lot is permitted up to three separate buildings. All structures are to be designed as integral parts or extensions of the architecture of the main building and must be located



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within the Homesite. Secondary residences are permitted on Homesites 23 and 51-67. Secondary residences must be consistent and compatible with the primary residence. See Figure 3.29.

3.12 Fire Sprinklers

Objectives:

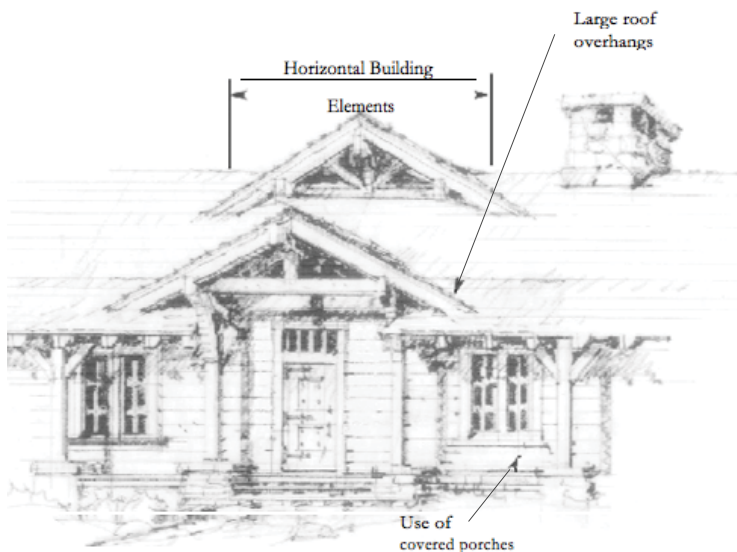
- To ensure fire protection for each home as required in the PUD documents

Guidelines:

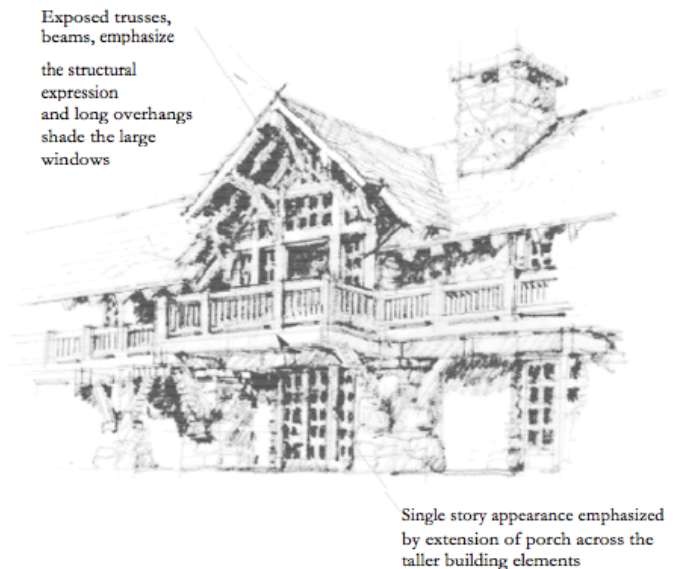
All homes in Red Sky Ranch are to include fully operational sprinkler systems. Sprinkler systems are to be designed to meet or exceed the National Fire Protection Association (NFPA) Standard 13D. It is required that all buildings include monitored alarm systems. Centrally monitored alarm systems are to be designed to detect the flow of the sprinkler system and be monitored by a private alarm monitoring company.

3.13 Architectural Patterns

Application of Design Guidelines: Examples of Building Forms and Massing



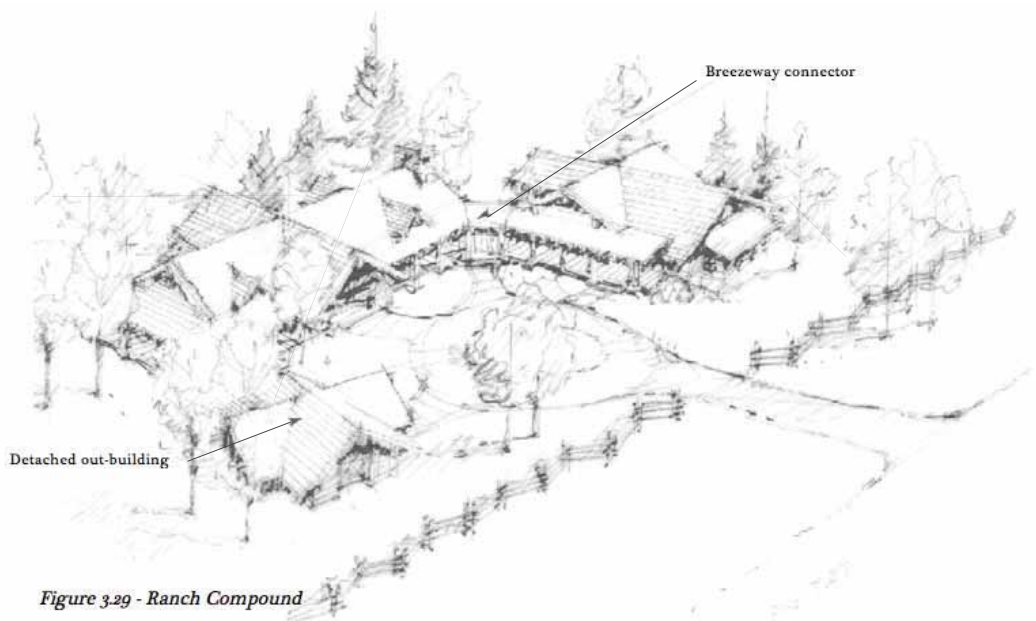
Acceptable Entry Composition



Example of Prominent Gable Structural Expression



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SECTION 4
RED SKY RANCH DESIGN
REVIEW BOARD



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4 RED SKY RANCH DESIGN REVIEW BOARD

The Red Sky Ranch design review process consists of a series of meetings between the Lot Owner and Architect and the Red Sky Ranch Design Review Board (DRB). This process starts with an informal introductory meeting and ends with the completion of home construction. Throughout the process is a series of meetings, or check points designed to ensure a smooth and efficient review of the design of each home. The DRB is intended to assist Owners through the design review process and should be thought of as a member of the Owner's design team.

The DRB is comprised of five members who are selected to represent a cross-section of design professionals and others familiar with Red Sky Ranch and with the conditions and issues involved with designing and building in mountain environments. The DRB meets on a monthly, or as needed, basis and is responsible for reviewing all new construction and modifications to existing homes.

The DRB will evaluate all development proposals in accordance with the Red Sky Ranch Design Guidelines and Regulations.

Some of the design guidelines contained in this document are written as relatively broad standards. The interpretation of these standards is left to the discretion of the DRB. Other guidelines such as building height and form and acceptable materials are more clearly stated as absolute design parameters. It is the intention of this design review process that all home designs comply with these absolute standards.

Each Lot within Red Sky Ranch possess unique characteristics and the Owners also each have their own individual needs and desires. For this reason, the DRB has the authority to approve deviations from any of the design standards in these guidelines. It should be understood, however, that any request to deviate from these guidelines will be evaluated at the sole discretion of the DRB and that the approval of deviations will be limited to only the most creative design solutions to unique situations. Prior to the DRB approving any deviation from a design guideline, it must be demonstrated that the proposal is consistent with the overall objectives of these guidelines and that the deviation will not adversely affect adjoining lots or Red Sky Ranch as a whole.



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SECTION 5
DESIGN REVIEW PROCEDURES



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5 DESIGN REVIEW PROCEDURES

This section provides a “road map” to guide an Applicant (Owner, Builder, Architect or Owner’s representative) through the review and approval process of the Design Review Board at Red Sky Ranch. This design review process must be followed for all Construction Activity to include:

- The construction of a new building;
- The renovation, expansion or refinishing of the exterior of an existing structure;
- Landscape changes to, any disturbance and/or improvements on a site;
- Interior renovations and modifications are to be reviewed by DRB staff to ensure compliance with the habitable space, parking, and number of dwelling units requirements of these Guidelines. Any interior remodels that would not otherwise fall under DRB review are subject to the Construction Regulations described in Appendix G of this document.

Please refer to Appendix B – Submission Requirements; Appendix C - Design Review Board Application Fees; Appendix D – Single-Family Residential Application Form; Appendix F - Design Review Board Plan Check Summary Checklists; and Appendix G - Construction Activities and Compliance Deposit Regulation for detailed plan checklists, regulations and application requirements.

Red Sky Ranch’s design review process takes place in six steps.

1. Pre-Planning Meeting
2. Conceptual Plan Review
3. Sketch Plan Review
4. Final Plan Review
5. Final Working Drawings Submittal
6. Construction Inspections and Submittals

The Applicant must also meet the submittal and approval requirements of Eagle County in order to obtain a Building Permit. Precise submittal requirements may be obtained from the Eagle County Building Department.



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5.1 Pre-Planning Meeting

Prior to the preparation of any materials for formal DRB review, the Applicant and consultant(s) must meet with representatives of the DRB for a pre-planning meeting. The purpose of this step is to provide the Applicant with introductory information which will establish the overall regulations, restrictions and/or special considerations for the particular Lot or area involved. This step is mandatory unless specifically waived by the DRB and is for the benefit of the Applicant and the Architect. This meeting will address:

- Property boundaries
- Easements and utilities
- Homesite location
- Architectural theme and special design considerations
- Building program and design rationale
- Submittal requirements
- Timing of future meetings

5.2 Conceptual Plan Review

This step is intended to provide the Applicant early feedback on the proposed design of the Lot. The package presented to the DRB should include a conceptual site plan and a least one conceptual elevation. Areas of particular concern should be highlighted for the DRB to review and comment on. A Conceptual plan package shall be submitted at least five (5) working days before the next scheduled meeting of the DRB.

5.3 Sketch Plan Review and Approval

In order to continue the process after the Conceptual Plan Review meeting, the Applicant shall prepare and submit to the DRB for review and approval a sketch plan package. This package should adequately convey existing site conditions, constraints, building orientation and design, vehicular and pedestrian access, the proposed use of exterior materials and colors and conceptual landscape design. A checklist of the required sketch plan documents is located in Appendix B. Sketch plan packages shall be submitted at least fifteen (15) working days before the next scheduled meeting of the DRB.

5.3.1 Sketch Plan Staking

The Applicant will stake the location of corners of the proposed buildings and all other major improvements upon submittal of sketch plan review documents to the DRB. Additionally, trees to be removed and/or protected will be appropriately tagged. In some



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instances, the DRB may require that ridgeline flagging be erected to indicate proposed heights of buildings.

The DRB will perform a site visit to review the preliminary staking prior to the scheduled sketch plan review meeting.

5.3.2 Sketch Plan Review Meeting

Upon receipt of the required sketch plan documents and completion of staking, the DRB will notify the Applicant of the scheduled meeting date to review the sketch plan documents.

The Applicant and/or consultant(s) must be present at the meeting, or the submittal will be postponed until the next meeting. The DRB will review and comment on the application at the meeting and allow time for discussion with the Applicant and/or consultant(s). Subsequently, within ten (10) working days the DRB will provide the Applicant with the conclusions of the meeting in writing. A second review meeting may be necessary to review corrected and/or new materials. Corrected materials will be provided to the DRB a minimum of ten (10) working days prior to the next regularly scheduled meeting.

5.4 Final Plan Review and Approval

Within one year of sketch plan approval, the Applicant may initiate the final plan review process by submitting required final plan review documents and appropriate fee. The Applicant shall provide all information necessary to reflect the design of the proposed building(s), landscape or other features requiring the approval of the DRB. All architectural plans are to be prepared by a licensed Colorado Architect (see Appendix A - Definitions of this document). Required final plan review documents and procedures are included in Appendix B. All final design documents must be submitted at least 15 working days prior to the next scheduled meeting of the DRB.

5.4.1 Final Plan Review Meeting

Upon receipt of the required documents, the DRB will notify the Owner of the scheduled meeting date to review the final plan design documents.

The Applicant and/or consultant(s) must be present at the meeting, or the submittal will be postponed until the next meeting. The DRB will review and comment on the application at the meeting and allow time for discussion with the Applicant and/or consultant(s). Subsequently, the DRB will provide the Applicant, within ten (10) working days of the meeting, an approval (see Section 5.4.2 below) or conclusive



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recommendations in writing for refinements to the design. A second review meeting may be necessary to review refinements, revisions and/or new materials. These materials will be provided to the DRB a minimum ten (10) working days prior to the next regularly scheduled meeting.

5.4.2 Final Plan Approval

The DRB will issue final design approval in writing to the Applicant and the Red Sky Ranch Board within ten (10) working days of a vote for approval at a final plan review meeting. If the decision of the DRB is to disapprove the proposal, the DRB shall provide the Applicant with a written statement of the basis for such disapproval to assist the Applicant in redesigning the project so as to obtain the approval of the DRB.

Notification will also be posted in a conspicuous place at Red Sky Ranch. The decision will become final if no appeal is filed by Applicant or the Red Sky Ranch Board within 20 working days of DRB decision.

5.5 Design Review Board Appeal Process

5.5.1 Final Plan Approval

The Applicant may file a formal appeal with the DRB within 30 days following any DRB decision. The DRB will review the appeal at the next regularly scheduled DRB meeting and render a decision in writing within five (5) working days. This decision will be transmitted both to the Applicant and the Red Sky Ranch Board.

5.5.2 Board of Directors Appeal

The Applicant may submit a formal appeal to the Red Sky Ranch Board within ten (10) working days following the date of notice of a DRB appeal.

The Red Sky Ranch Board shall review the appeal within 60 days from the date of the filing of the appeal and render a decision in writing for the approval or disapproval. Failure by the Red Sky Ranch Board to act within 95 days from the date of the appeal filing will constitute approval.



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5.6 Final Working Drawing Submission

Upon approval of final plans, the Applicant shall prepare and submit final working drawings to the DRB. The contents of the final working drawings submittal should be substantially consistent with the approved final plans, while responding to any conditions or revisions imposed by the DRB at final plan review. Refer to Appendix B for the required final working drawing and procedures.

5.7 Eagle County Plan Review and Approval

Subsequent to the delivery of final working drawings to the DRB, the Applicant must submit identical final working drawings to the DRB for review and approval prior to submittal to the Eagle County Building Department for its plan check process in order to obtain a building permit. Precise submittal requirements can be obtained from the Eagle County Building Department upon presentation to Eagle County of a photo copy of the warranty deed and a set of plans stamped and approved by the DRB.

5.8 Construction Staking

Concurrent with the submission of final working drawings, the Applicant shall stake the footprints of all improvements to be constructed on the Site and all parking, storage and laydown areas, and flag all trees to be removed and/or saved according to “Tree Removal Procedures” - Appendix H.

5.9 Site Inspection

Prior to the commencement of any Construction Activity the Architect/Builder will schedule a site inspection with the DRB.

The DRB shall inspect the site within five (5) working days of the request to ensure compliance with approved plan, lot survey points, driveway location, building corners, cut and fill areas, protected vegetation and proposed tree removals.

The Owner will provide the DRB with a detailed plan of the proposed “Construction Area” showing the area in which all Construction Activities will be confined, and how the remaining portions of the Homesite and Lot will be protected. The Construction Area Plan will designate the location and size of the construction material storage and parking areas, and the locations of the chemical toilet, temporary trailer/structure, dumpster, debris storage, fire-fighting equipment, utility trenching, and the limits of excavation.



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The plan should clearly identify the methods for the protection of adjacent areas, such as fencing, flagging, rope, barricades or other means to be set up prior to construction. Care must be taken to avoid, or if unavoidable, minimize the visual impact of the Construction Area on neighboring Parcels, public areas and roads.

5.10 Subsequent Changes

Subsequent construction, landscaping or other changes in the intended improvements that differ from approved final design documents must be submitted in writing to the DRB for review and approval prior to making changes.

5.11 Compliance Deposit

Prior to commencing any Construction Activity, a Compliance Deposit shall be delivered to the DRB, on behalf of the Association, as security for the project's full and faithful performance of its Construction Activity in accordance with its approved final plans. (See Appendix G - Construction Activities and Compliance Deposit Regulation).

The DRB may use, apply or retain any part of the Compliance Deposit to the extent required to reimburse the DRB for any cost that the DRB may incur on behalf of the project's Construction Activity. Any fees incurred by the DRB to restore the Compliance Deposit to its original amount shall be reimbursed to the DRB by Owner. Construction Activity shall be halted until the Compliance Deposit is brought up to the original amount.

5.12 Construction Inspections

In addition to the building inspections required by the Eagle County Building Department, the DRB will check construction to ensure compliance with approved final design documents. If changes or alterations have been found that have not been approved, the DRB will issue a Notice to Comply. Refer to Appendix G, Construction Activities and Compliance Deposit Regulation.

5.13 Notice to Comply

When as a result of a construction observation, the DRB finds changes and/or alterations that have not been approved, the DRB will issue a Notice to Comply within 3 working days of the observation. The DRB will describe the specific instances of non-compliance and will require the Applicant to comply or resolve the discrepancies.



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5.14 Certificate of Compliance

The Applicant will request from the DRB a Certificate of Compliance for Improvements given final design approval. The DRB will make an inspection of the property within five (5) working days of the request. The DRB will issue in writing a certificate of Compliance if the work was found to be done in compliance with the final design approval. If the work was not done in compliance with the approved final design documents, the DRB will issue a Notice to Comply within three working days.

5.15 Non-Liability

Neither the DRB nor any member, employee, consultant, or agent will be liable to any party for any action, or failure to act with respect to any matter if such action or failure to act was in good faith and without malice.



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A
DEFINITIONS



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A DEFINITIONS

Unless the context otherwise specifies or requires, use of the following words or phrases when used in these Design Guidelines shall have the following meanings:

Applicant

An Owner or Owner's representative who is authorized to represent and/or act upon any application materials or submittals.

Architect

A licensed Architect in the State of Colorado who is required for the design of all buildings.

Builder

A person or entity engaged by an "Owner" for the purpose of constructing any improvement within the Project. The "Builder" and "Owner" may be the same person or entity.

Building Coverage

The total area of a Lot covered by building or buildings, measured at the ground surface. Building coverage is measured from outside of all exterior walls at ground level and shall include stairways, fire-places, covered parking and walkway areas, porte-cocheres, and all cantilevered building areas. In effect, it is the area that is covered by building(s) and does not include roof overhangs, unenclosed walkways, usable areas under above-grade decks, or similar extensions. It excludes uncovered decks, porches, patios, terraces and stairways less than 30 inches above finished grade.

Building Envelope

That portion of a Lot, as described in Section 2.1 of this document which encompasses the area in which all improvements must be built as specified on the Lot Diagram for each Lot.

Building Height

Building Height (exclusive of chimneys) shall be measured from the lowest point around the building at existing or finished grade (whichever is more restrictive) to the highpoint of the highest roof ridge of the main building mass. Existing grade is the natural topography that exists before any development takes place. Refer to Figure 3.2.

Compliance Deposit

The deposit that the Owner is required to deliver to the Red Sky Ranch Design Review Board prior to commencing a Construction Activity.

Construction Site

A site upon which any Construction Activity takes place.



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Construction Activity

Any site disturbance, construction, addition or alteration of any building, landscaping, or any other improvement on any Site.

Construction Vehicle

Any car, truck, tractor, trailer or other vehicle used to perform any part of a Construction Activity or to transport equipment, supplies or workers to a Construction Site.

Design Guidelines

The review procedures, restrictions, and construction regulations adopted and enforced by the Design Review Board as set forth in this document and as amended from time to time by the Design Review Board.

Design Review Board (DRB)

The committee appointed by the Declarant described in the Covenants, Conditions, and Restrictions (CC&R's) as the "Design Review Board". The Design Review Board shall review and either approve or disapprove proposals and/or plans and specifications for all Construction Activity within Red Sky Ranch.

Excavation

Any disturbance of the surface of the land (except to the extent reasonably necessary for planting of approved vegetation or soil testing), including any trenching which results in the removal of earth, rock, or other substance or any grading of the surface.

Fill

Any addition of earth, rock, or other materials to the surface of the land, which increases the natural elevation of such surface.

Gross Floor Area

The total floor area of a building which includes basements, covered parking, storage and mechanical area (for Metropolitan District tap fee purposes) as measured from outside wall to out-side wall. The DRB fee is based on this square footage.

Improvement

Any changes, alterations, or additions to a Lot including any excavation, fill, residence or buildings, outbuildings, roads, driveways, parking areas, walls, retaining walls, stairs, patios, courtyards, landscape plantings, fences, signs, and any structure of any type or kind.

Impervious Coverage

The total Lot covered by building or buildings and related site improvements such as patios, decks, terraces, pools, tennis courts, walks, paths and all paved areas including driveways.



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Lot Diagram

The term “Lot Diagram”, shall refer to the drawing prepared for each individual Lot. Each Lot Diagram specifies the required Homesite area, specific building height, maximum floor area, suggested driveway access, views and any additional special restrictions pertinent to the development of the Lot.

Minimum Floor Area

“Minimum Floor Area” shall be 3,500 square feet (“floor area” is defined the same as in “Gross Floor Area,” above).

Owner

The term “Owner” shall mean the record holder of legal title to fee simple interest in a Unit or interest therein. The Owner may act through an agent provided that such agent is authorized in writing to act in such capacity.

Private Space

The term “Private Space” shall mean an area not visible from road right-of-ways, pedestrian easements, neighboring properties, and the Golf Course.

Red Sky Ranch Board

The term “Red Sky Ranch Board” shall mean and refer to the Board of Directors of the Red Sky Ranch Association, a Colorado non-profit corporation, and its successors and assigns.

Red Sky Ranch Development Plan

A document showing easements, lot lines, Building Envelopes and approximate existing site features affecting development.

Residence

The building or buildings, including any garage, or other accessory building, used for residential purposes constructed on a Lot, and any improvements constructed in connection therewith.

Secondary Residence

One or more rooms which comprise a fully functional living unit, including a separate entrance, kitchen, bathroom etc. occupied by one person, family or group of people living independently from the primary Residence. The Secondary Residence must be designed as an integral part of extension of the architecture of the main building.



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B
DESIGN REVIEW &
SUBMISSION REQUIREMENTS



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B DESIGN REVIEW & SUBMISSION REQUIREMENTS

B1 | SKETCH PLAN REVIEW APPLICATION PACKAGE

A. Survey and Site Photographs

Two copies of a property survey (minimum scale: 1"=20'-0") prepared by a licensed surveyor indicating property boundaries, the area of the property, all easements of record, Homesite, topography at 2 foot intervals and any significant natural features such as rock outcroppings, watercourses, or existing trees with caliper widths of 3 inches in diameter or greater. To facilitate the review process the submission will not be considered complete without clearly identified existing tree and shrub masses with general sizes and heights noted. At heavily wooded sites, the tree survey may be limited to trees in the vicinity of the Homesite and the proposed driveway. The general masses of tree and shrub types may be information added to the survey by the Architect or Landscape Architect.

Two sets of color site photographs (4" x 6" min. size) of the site area to adequately describe the neighborhood including, site features, vegetation, views and/or relationship to roads and adjoining Lots.

B. Proposed Site Plan

Two sets full size and six sets 11"x17" reductions of the site plan (minimum scale 1"=20'-0"), indicating existing and proposed topography, property boundaries, the footprint(s) of buildings relative to the Homesite area, driveway access with proposed grades, existing vegetation, existing rock outcroppings, all easements of record, proposed limits of construction, scale and north direction.

C. Building Plans

Two sets full size and six sets 11"x17" reductions of plans (minimum scale 1/8"=1'-0"), including floor plans for each level of building(s) and exterior elevations and roof plan indicating elevations for each floor and the highest roof ridge. Overall building dimensions should be indicated.

D. Site Sections

Two sets full size and six sets 11"x17" reductions (minimum scale 1"=20'-0") of sections showing proposed buildings and elevations in relation to surrounding site, including adjacent Lots, residences and roads. A minimum of two sections, one in each direction shall be included.



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E. Building Height Calculation

One copy of Building Height calculations drawn over building elevations, relating to, and coordinated with the required topographic survey. Existing and finished grades should be clearly indicated around the perimeter of all pro-posed structures.

F. Conceptual Landscape Plan

Two sets full size and six sets 11"x17" reductions of the landscape plan (minimum scale 1"=20'-0"), including location and type of existing vegetation, existing rock outcroppings, limits of site disturbance, proposed areas of new landscaping, revegetation specifications for reseeding and mulching and preliminary drainage plan and erosion control measures.

G. Study Model (1"=20'-0" minimum)

One study model which indicates three dimensional massing and relationship to site.

H. Design Review Board Application and Fee

Submit one copy of completed application and fee with drawings. Fee is based on Gross Floor Area in accordance with current fee schedule. (Refer to Appendix A for Definitions, to Appendix D for example of application form and Appendix C for Design Review Board Application Fees).

B2 | FINAL PLAN REVIEW APPLICATION PACKAGE

A. Final Site Plan (minimum scale 1" =20'-0")

The final site plan shall indicate proposed building foot-print(s), roof dripline, property boundaries and easements, scale and north direction, utility locations, existing vegetation, existing and proposed 2 foot contours, areas of cut and fill, drainage, limits of construction, proposed roads, drive-ways, sidewalks, decks, and any other proposed improvements. Proposed driveways should include spot elevations. Snow storage areas should be located and building site coverage as a percent of land area should be noted on plans.

B. Footing and Foundation Plan (scale 1/4"= 1'-0")

Submit plans and sections to illustrate the location and size of foundation walls and footings. Foundation plans should clearly indicate unexcavated and crawl space areas.



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C. Floor Plans (scale 1/4" = 1'-0")

Indicate all room dimensions, door and window locations and sizes, location of mechanical and electrical systems and fire sprinkler and monitoring systems. Indicate the location and type of all exterior lighting fixtures, proposed fireplaces, and kitchen appliances. Indicate location and area allocated to the secondary residence if applicable.

D. Elevations. (scale 1/4" = 1'-0")

Illustrate the exterior appearance of all views labeled in accordance with the site plan. Indicate the height of chimney(s) as compared with the ridge of the roof, the highest ridge of the roof, the elevation of each floor, and existing and finished grades for each elevation. Describe all exterior materials, colors, and finishes (walls, roofs, trim, chimneys, windows, doors, etc.) and locate all exterior lighting fixtures. Indicate shadow patterns and material textures.

E. Building Sections (scale 1/4" or 1/2" = 1'-0")

Indicate building walls, floors, interior relationships, finished exterior grades and any other information to clearly describe the interior/exterior relationships of the building as well as the building's relationship to the site.

F. Perspective Sketches (scale optional)

Provide a ground level perspective sketch(s) of the building from a location(s) representing a primary public exposure to the building. This sketch should indicate exterior shadow patterns, materials, textures, and trim details.

G. Model (scale 1/16", 1/8" or 1/4" = 1'-0")

Provide a ground level perspective sketch(s) of the building from a location(s) representing a primary public exposure to the building. This sketch should indicate exterior shadow patterns, materials, textures, and trim details.

H. Details

Provide design details to sufficiently represent the visual expression of the building, exposed connections, and material interfaces. Include soffit/fascia details, window head and sill details, railing details, and any other information necessary to describe the project's exterior.



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I. Building Height Calculations

Submit one copy of building height calculations, drawn over the building elevations.

J. Roof Plan

Indicate areas of snow shedding and water removal, as well as the specific techniques proposed to manage snow shed areas which may conflict with pedestrian and vehicular zones. In addition, indicate the location of all mechanical devices which are proposed to penetrate the roof (chimneys, flues, plumbing vents etc.).

K. Landscape Plans (minimum scale 1"=20'-0").

The proposed landscape plans should include:

- *Grading plan* - Include existing and proposed contours at 2 foot intervals, spot elevations, drainage patterns, rim and invert elevations and snow storage areas.
- *Planting plan* - Include plant material legend which lists common and botanical names, plant sizes and plant quantities which are keyed to locations on plan. Locate rock outcrops, decks or patios, service yards, driveways, and any other freestanding structures.
- *Irrigation Plan* - Locate all temporary and permanent irrigation systems, including controllers and type and size of equipment. For seeded areas, rates and method of application per 1,000 square foot increments, mulch type, rate and stabilization technique and fertilizer type and time of application are required for review
- *Lighting* - Locate in detail all proposed outdoor lights and signs. Submit cut-sheets of all proposed light fixtures and indicate the lighting control strategy.
- *Identification Sign* - Indicate and detail proposed identification sign.

L. Specifications

Provide written specifications, samples and color boards as appropriate for the following items:

- Exterior wall materials and colors, (samples of logs must be submitted for proposed log buildings);
- Windows and exterior doors with colors;
- Exterior trim materials and colors;
- Fireplace equipment cut-sheets;
- Exterior lighting fixture cut-sheets.



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M. On-Site Mock Up

An on site full scale mock-up of all exterior materials and colors is required during the construction phase for final DRB approval.

N. Erosion Control and Revegetation Plan

Indicate the means and time schedule by which the prevention of erosion and stream sedimentation will be addressed during and after construction, including any of the following that are appropriate for the site in question:

The limits of construction and the technique pro-posed for defining that limit prior to and during construction;

- Location and proposed method of tree and vegetation protection;
- Placement and type of perimeter filters;
- Water control methods;
- Vehicular access points and surface treatment;
- Spoil storage and stabilization measures;
- Siltation control devices;
- Proposed revegetation methods;
- Proposed seed and fertilizer types, application rates and methods;
- Mulch type, rate application and stabilization methods;
- Type and location of any permanent or temporary irrigation methods to be used.

O. Design Review Board Application and Fee

Submit one copy of completed application and fee with drawings. Fee is based on Gross Floor Area (see Definitions, Appendix A of this document) in accordance with current fee schedule. (Refer to Appendix D for example of application form and Appendix C for Design Review Board Application Fees).



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B3 | FINAL WORKING DRAWING SUBMISSION

Upon approval of final plans the Applicant shall prepare and submit final working drawings to the DRB. The contents of the final working drawings submittal should be substantially consistent with the approved final design plans, while responding to any conditions or revisions imposed by the DRB at final design review. The final working drawing submittal package shall include the following drawings:

- A. Final Working Drawings
- B. Initial Erosion Control Plan
- C. Permanent Erosion Control Plan
- D. Transportation and Parking Plan - This plan shall describe:
 - how and where construction vehicles will be parked at the Construction Site during Construction Activity.
 - the maximum number of Construction Vehicles that will be parked at or adjacent to the Construction Site at any one time.
 - the manner in which construction workers will be trans-ported to and from the Construction Site during Construction Activity.

B4 | FINAL WORKING DRAWING SUBMISSION

Subsequent to the delivery of final working drawings to the DRB the Applicant may submit identical final working drawings to the Eagle County Building Department for its plan check process in order to obtain a building permit. Precise submittal requirements can be obtained from the Eagle County Building Department upon presentation to Eagle County of a photo copy of the war-ranty deed and a set of plans stamped and approved by the DRB.



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C
DESIGN REVIEW BOARD
APPLICATION FEES



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C DESIGN REVIEW BOARD APPLICATION FEES

Red Sky Ranch Design Review Board Application Fee Schedule For Single Family Residential lots

Square Feet of Max Gross Floor Area	Sketch Plan Fee	Final Plan Fee	Total Feee
0-5,000 SF	\$2,500	\$2,500	\$5,000
5,000-7,5000 SF	\$3,000	\$3,000	\$6,000
7,501-10,000 SF	\$3,500	\$3,500	\$7,000
10,001-12,500 SF	\$4,000	\$4,000	\$8,000
12,501+	\$5,000	\$5,000	\$10,000

Miscellaneous Notes

- Minor projects of under \$250,000, fee is 1.5% of project costs, minimum of \$150.a
- Modification to previously approved plans if implemented during initial construction, \$150.
- The DRB may impose an additional fee of \$1,000 for any project having more than two Sketch Plan reviews or more than one Final Plan review.
- Lot Amendments - \$1,000.
- Appeals - \$500.
- Signs and/or Satellite Dishes if presented independently, \$50.
- Fees must be paid at time of submittal.
- Fees are calculated on Gross Floor Area, defined as the total floor area measured from the outside of all exterior walls, including basements, covered parking, storage and mechanical areas within a building.
- Fees for projects outside the scope of the current fee schedule will be determined by the DRB staff.
- Late submittal fee shall be an additional 50% of the fee due at that meeting. Acceptance of submittals after the deadline shall be at the discretion of the DRB staff.
- Make checks payable to Red Sky Ranch Design Review Board.



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D
SINGLE FAMILY RESIDENTIAL
APPLICATION



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D SINGLE FAMILY RESIDENTIAL APPLICATION

NEW CONSTRUCTION

- ☐ Conceptual
- ☐ Sketch
- ☐ Final
- ☐ Modification to Approved Plans
- ☐ Minor Improvement (including Satellite Dish, Address Marker, Site Art, Outdoor Recreation Equipment, Dead Tree Removal, Repaint, Re-Roof)

REMODEL

- ☐ <500 sq. ft
- ☐ >500 sq. ft
- ☐ Landscape Remodel
- ☐ Building Envelope Amendment
- ☐ Tear-Down / Demolition
- ☐ Hot Tub

Name of Project:

General Description of the Project:

LOCATION:

Tract: _____ Lot: _____ Block: _____ Filing: _____

Street Address:

CONTACT INFORMATION:

Owner Name:

Mailing Address:

Phone: _____ Email: _____



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Owner Signature: _____ Date: _____

I acknowledge that I am aware and will comply with the requirements as set forth in the Beaver Creek Rules and Regulations, Construction Activities and Compliance Deposit Regulation, Beaver Creek Design Guidelines, General Declaration for Beaver Creek, and Beaver Creek PUD Guide. I authorize the representative below to act on my behalf and recognize that failure to abide by the rules and regulations by either my representative or myself may result in fines.

Applicant/Representative Name:

Mailing Address:

Phone: _____ Email: _____

Architect Name: _____ License#: _____

Mailing Address:

Phone: _____ Email: _____

Landscape Architect Name:

Mailing Address:

Phone: _____ Email: _____



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SECTION II

SUBMITTAL REQUIREMENT PROCEDURES SUMMARY

1. Application will be accepted after all information is provided. Please note that a complete application will streamline the approval process by decreasing the number of conditions of approval that the DRB may stipulate.
2. Fee must be submitted at time of application (see attached Design Review Board Application Fees). Please note that there is a fee required for both Sketch Plan Review and Final Plan Review.
3. Please contact the DRB staff regarding application questions.
4. A pre-planning meeting with the DRB staff is required for all single family residential projects within Red Sky Ranch for the Applicant to obtain information which will establish the overall regulations for the particular Lot. In addition, a conceptual design meeting is required.
5. Fees **must** be submitted with application. Fees are based on the Gross Floor Area of the Residential unit(s), including lofts, stairways, fireplaces, halls, habitable attics, bathrooms, closets and storage and mechanical areas as measured from outside wall to outside wall. (Refer to attached Design Review Board Application Fees).
6. Snow load requirements - Red Sky Ranch regulations shall be in accordance with Eagle County requirements. Contact the Eagle County Community Development Department for precise regulations and guidelines.

1. SKETCH PLAN REVIEW

- A. For Sketch Plan requirements refer to Chapter 5 - "Design Review Procedures" and Appendix F - Design Review Board Plan Check Summary Checklists of the Red Sky Ranch Design Guidelines and Regulations.
- B. Submit two copies of survey (minimum scale 1"=20'-0") and two full size sets and six sets 11"x17" reductions of proposed Site Plan, Floor Plans, and Landscape Plans and one copy of the Building Height Calculations
- C. Submit completed Application Form, Sections I, III, IV, and V.
- D. Submit check for review fee at time of submittal.



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2. FINAL PLAN REVIEW

- A. For Final Plan requirements refer to Chapter 5 - “Design Review Procedures” and Appendix
F - Design Review Board Plan Check Summary Checklists of the Red Sky Ranch Design Guidelines and Regulations.
- B. Submit two full size sets and six sets 11"x17" reductions of proposed Final Site Plan, Footing and Foundation Plan, Floor Plans, Elevations, Building Sections, Perspective Sketches, Roof Plan and Landscape Plans. Submit one copy each of Building Height Calculations, Details, Specifications and Model.
- C. Submit completed Application Form, Sections I, III, IV, and V.

3. MODIFICATIONS TO SKETCH PLAN / FINAL PLAN APPROVAL

Describe item(s) to be modified.

Plan requirements:

- Submit photos or previously approved plans.
- Submit modified elevations, floor plan and/or site plan as appropriate.

Submit completed application, Sections I, III, IV and V as appropriate.

**Indicate location of utility meters and exterior light fixtures on plans. Attach cut-sheets for exterior light fixtures indicating type and material.*

***Please note that a full scale on-site mock up of all exterior materials with proposed colors is required during the construction phase prior to installation for final DRB approval. Please refer to Construction Inspections, Section 5 of the Red Sky Ranch Design Guidelines.*

Please note minimum sizes for plant material:

- *Deciduous trees – 10% of mix: maximum 2.5 inch caliper; 40% of mix: minimum 2.5 inch caliper; 45% of mix 3 inch caliper; 5% of mix – 4 inch.*
- *Juniper trees – 10% of mix: maximum 6 foot height; 40% of mix: minimum 8 foot height; 50% minimum mix: minimum 10 foot height.*
- *Shrubs – 10% of mix: minimum large ball & burlap material; 40% of mix: 15 gallon con-tainers; 50% of mix: 5 gallon containers.*



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SATELLITE DISHES - DESIGN REVIEW BOARD POLICY

A. GENERAL POLICIES:

1. An application fee, and proposed location for all satellite dishes must be received by the Red Sky Ranch DRB prior to approval.
2. Satellite dishes must be substantially screened from view from adjacent properties and from adjacent road right-of-ways without impairing the signal. Screening may utilize a portion of an existing building; however, a fence for the sole purpose of screening may not be used.
3. Satellite Dishes must be located and screened within the designated Homesite area for the Lot. If it is necessary to locate the dish outside of the Homesite area it must be demonstrated that it is completely screened from off-site views.
4. Satellite dishes may be wire mesh or solid. Satellite dishes must be a solid color, with no logos, painted to match surrounding equipment or environs.
5. One dish will be allowed per building, such as a single family, primary/secondary or duplex home, townhouse project, condominium, lodging or multi-purpose building.
6. For the purpose of assuring equal access to all Owners within a condominium building an application must be made in the name of or through the association.
7. The satellite dish shall be located in such a manner with consideration for safety.

B. SPECIFIC POLICIES FOR RESIDENTIAL SITES

1. The maximum diameter of dishes shall be one meter, or 39 inches.

C. SPECIFIC POLICIES FOR COMMERCIAL SITES

1. The maximum diameter of dishes shall be one meter, or 39 inches.
2. Dishes may be incorporated into surrounding equipment in conjunction with screening



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E
DESIGN REVIEW BOARD
PLAN CHECKLIST SUMMARY



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E RED SKY RANCH DESIGN REVIEW BOARD SINGLE FAMILY RESIDENTIAL SKETCH PLAN SUMMARY

Date Submitted: _____

Project Name: _____

Project Location: Lot: _____

Address _____

Applicant Name: _____

Owner Name: _____

Submittal Requirements:

Two sets full size and six sets reduced size of the follow:

- ____ Stamped survey
- ____ Site plan
- ____ Preliminary landscape plan
- ____ Floor plans
- ____ Elevations
- ____ Roof plan

Site sections

Two sets of site photographs

One set of building height calculations

Study Model

Application

Fee \$ _____



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SKETCH PLAN REVIEW SITE RELATED ISSUES

Yes No N/A

- ___ ___ ___ Scale indicated on site plan
- ___ ___ ___ Property lines, Easements, Building Envelope and Homesite shown
- ___ ___ ___ All improvements within Homesite
- ___ ___ ___ Existing and proposed topography shown
- ___ ___ ___ Maximum driveway width is 12 feet
- ___ ___ ___ First 40 feet of driveway is asphalt
- ___ ___ ___ Driveway grades in compliance (___ %)
- ___ ___ ___ Required parking met (number provided ___)
- ___ ___ ___ Adequate maneuvering space provided on-site
- ___ ___ ___ Minimal grading proposed
- ___ ___ ___ Grading less than 2:1
- ___ ___ ___ Retaining walls less than 6 feet in height
- ___ ___ ___ Drainage plan resolved on property
- ___ ___ ___ Building siting parallel to contours
- ___ ___ ___ Elevations of each floor indicated
- ___ ___ ___ Elevation of lowest level within 24 inches of lowest grade

ARCHITECTURAL ISSUES

Yes No N/A

- ___ ___ ___ Building height calculations within limits (sq. ft)
- ___ ___ ___ Floor area calculations accurate
- ___ ___ ___ Elevations of each floor indicated
- ___ ___ ___ Fireplace(s) in compliance
- ___ ___ ___ Secondary unit proposed - complies with requirements
- ___ ___ ___ Overall building dimensions indicated
- ___ ___ ___ Roof pitch within requirements (Roof pitch ___)
- ___ ___ ___ Elevation of highest roof ridge indicated
- ___ ___ ___ Main form has open gables with continuous eaves
- ___ ___ ___ Main ridge limited to 125', or longer with substantial break
- ___ ___ ___ 2' min. side overhangs on gables and dormers
- ___ ___ ___ Retaining walls less than 6 feet in height
- ___ ___ ___ Dormers are max. 10' wide on other sides
- ___ ___ ___ Lower level expressed as stone foundation
- ___ ___ ___ Main building walls limited to one-story; two story at gable ends
- ___ ___ ___ Decks and porches used to break up two story walls
- ___ ___ ___ Decks and porches supported by stone columns or brackets
- ___ ___ ___ Exterior wall finishes: Primary wall material Secondary wall material
- ___ ___ ___ Structural expression acceptable



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- ___ ___ ___ Garage does not exceed 15% of Gross Floor Area, if more than 3-car
- ___ ___ ___ Window patterns acceptable
- ___ ___ ___ Chimney and mechanical flues identified on all plans

RED SKY RANCH DESIGN REVIEW BOARD SINGLE FAMILY RESIDENTIAL FINAL PLAN SUMMARY

Date Submitted: _____

Project Name: _____

Project Location: Lot: _____ Address: _____

Applicant Name: _____

Owner Name: _____

Submittal Requirements:

Two sets full size and six sets reduced size of the follow:

Stamped survey

- ___ Site Plan
- ___ Grading Plan
- ___ Erosion Control and Revegetation Plan
- ___ Landscape plan
- ___ Floor Plans
- ___ Elevations
- ___ Roof plan
- ___ Building sections
- ___ Perspective Sketches
- ___ Footing and Foundation Plan
- ___ Details

One set of building height calculations

Color board

Application

Fee \$ _____



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FINAL PLAN REVIEW

SITE RELATED ISSUES

Yes No N/A

- ___ ___ ___ Plan prepared by registered engineer
- ___ ___ ___ Scale indicated on site plan
- ___ ___ ___ Property lines, Easements, Building Envelope and Homesite shown
- ___ ___ ___ All improvements within Homesite
- ___ ___ ___ Existing and proposed topography shown
- ___ ___ ___ Maximum driveway width is 12 feet
- ___ ___ ___ First 40 feet of driveway is asphalt
- ___ ___ ___ Driveway grades in compliance (___ %)
- ___ ___ ___ Required parking met (number provided ___)
- ___ ___ ___ Adequate maneuvering space provided on-site
- ___ ___ ___ Culvert at driveway indicated
- ___ ___ ___ Limits of construction indicated
- ___ ___ ___ Minimal grading proposed
- ___ ___ ___ Re-grading blends into natural terrain
- ___ ___ ___ Re-grading limited to 2:1 slope
- ___ ___ ___ Drainage resolved on property
- ___ ___ ___ Utility routes/connection points indicated
- ___ ___ ___ Utility meter location shown
- ___ ___ ___ Maximum retaining wall 6' achieved
- ___ ___ ___ Fences/gates within Homesite
- ___ ___ ___ Roof overhangs indicated
- ___ ___ ___ Elevations of each floor indicated
- ___ ___ ___ Finished floor elevation of lowest level no more than 24" above grade
- ___ ___ ___ Satellite dish location indicated
- ___ ___ ___ Site lighting plan minimizes lighting

ARCHITECTURAL ISSUES

Yes No N/A

- ___ ___ ___ Height calculations within limits (Building Height ___ ft.)
- ___ ___ ___ Floor area calculations accurate (Square Feet ___)
- ___ ___ ___ Fireplace(s) in compliance
- ___ ___ ___ Secondary unit proposed - complies with requirements
- ___ ___ ___ Roof pitch within requirements (Roof pitch ___)
- ___ ___ ___ Main form has open gables with continuous eaves
- ___ ___ ___ Main ridge limited to 125', or longer with substantial break
- ___ ___ ___ 2' min. side overhangs on gables and dormers
- ___ ___ ___ Snow shed protection at entries
- ___ ___ ___ Cold roof or super insulated roof system proposed



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- ___ ___ ___ Chimney and mechanical flues identified on all plans
- ___ ___ ___ Chimney cap enclosures detailed
- ___ ___ ___ Gutters, downspouts located
- ___ ___ ___ Building mass/form primarily rectangular
- ___ ___ ___ Lower level expressed as stone foundation
- ___ ___ ___ Decks and porches used to break up two-story walls
- ___ ___ ___ Decks and porches supported by stone columns
- ___ ___ ___ Exterior wall finishes: Primary wall material Secondary wall material
- ___ ___ ___ Structural expression acceptable
- ___ ___ ___ Window patterns acceptable
- ___ ___ ___ Exterior lighting locations indicated
- ___ ___ ___ Exterior light fixture cut-sheets submitted
- ___ ___ ___ Trash storage/removal strategy proposed
- ___ ___ ___ Knox box located
- ___ ___ ___ Details submitted

LANDSCAPING

Yes NoN/A

- ___ ___ ___ Limits of disturbed area indicated
- ___ ___ ___ Construction limits indicated
- ___ ___ ___ Significant existing trees preserved
- ___ ___ ___ Erosion control location/method indicated
- ___ ___ ___ Landscaping consistent with landscape zone requirements
- ___ ___ ___ Sod areas within Homesite only
- ___ ___ ___ Minimum sizes of trees and shrubs met
- ___ ___ ___ Snow storage areas indicated
- ___ ___ ___ Automatic irrigation system indicated
- ___ ___ ___ No irrigation system within 2' of road
- ___ ___ ___ Transition from formal to natural landscape acceptable
- ___ ___ ___ Meter locations identified and screened



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F
CONSTRUCTION ACTIVITIES
AND COMPLIANCE DEPOSIT
REGULATION



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F CONSTRUCTION ACTIVITIES AND COMPLIANCE DEPOSIT REGULATION

Section 1. Title

This regulation shall be known as the “Construction Activities and Compliance Deposit Regulation.”

Section 2. Purpose

The purpose of this regulation is to regulate Construction Activity (as such term is defined below) within Red Sky Ranch to minimize the impacts of Construction Activity on Guests and Owners. The Red Sky Ranch Design Review Board (DRB) has the power to amend this Regulation from time to time without notice.

Section 3. Definitions

Unless otherwise stated, all capitalized terms used herein shall have the meanings given to them in the General Declaration of Covenants, Conditions and Restrictions for Red Sky Ranch, Eagle County, Colorado, as recorded with the Clerk and Recorder of Eagle County, Colorado, on August 1, 2001, reception #763574, as amended from time to time (the “Declaration”). In addition, as used in this Regulation, the following terms shall have the following meanings:

3.00 “Association” means the Red Sky Ranch Association.

3.01 “Compliance Deposit” means the deposit that an Owner is required to deliver to the DRB prior to commencing a Construction Activity.

3.02 “Construction Site” means a Site upon which Construction Activity takes place.

3.03 “Construction Activity” means any site disturbance, construction, addition or alteration of any building, landscaping or any other improvement on any Site.

3.04 “Construction Vehicle” means any car, truck, tractor, trailer or other vehicle used to perform any part of a Construction Activity or to transport equipment, supplies or workers to a Construction Site.

3.05 “District” means the Holland Creek Metropolitan District.

3.06 “DRB” means the Design Review Board as appointed by the Board of Directors of Red Sky Ranch Association.

3.07 “Owner Representative” means any contractor, subcontractor, agent or employee hired or engaged by an Owner in connection with any Construction Activity.



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3.08 “Regulation” means this Construction Activities and Compliance Deposit Regulation.

3.09 “Substantially Complete” means that stage of a Construction Activity at which the work is sufficiently complete so as to allow the owner to legally occupy or utilize the work for its intended use. Legal occupation or utilization means that the Owner has obtained a temporary certificate of compliance from the DRB and a temporary certificate of occupancy from Eagle County. Notwithstanding any other provision hereof, a Construction Activity shall not be deemed to be Substantially Complete until all exterior finish work and landscaping work has been completed.

3.10 “Temporary Structure” shall mean any structure erected or otherwise installed as a job office or for the purpose of storing materials in connection with a Construction Activity.

Section 4. Construction Process, Approvals, and Inspections

4.01 Construction Process

Construction shall not begin until final plan approvals have been issued by the DRB, and the District (including the issuance of Access Passes, as required by District Road regulations), and a building permit has been obtained from Eagle County. Owners and their Owner Representatives shall arrange a preplanning meeting with DRB staff to educate themselves about the Red Sky Ranch design review and development process and the DRB’s concerns with respect to particular Sites. To assist Owners and their Owner Representatives in educating themselves about Red Sky Ranch design review and development process, please refer to the following information in the Design Guidelines for Red Sky Ranch and information available from the DRB office:

- a) “Sources for Information Regarding Construction in Red Sky Ranch” available from the DRB office.
- b) Design Review Procedures - Chapter 5 of these Design Guidelines.
- c) Design Review Board Plan Check Summary Checklists - Appendix F of this document.

4.02 Preconstruction Requirements

No Owner or Owner Representative shall commence any Construction Activity until it has satisfied all preconstruction requirements set forth in this Section 4.02.

- a) To initiate the formal design review process, the Owner of a Site shall Submit sketch plans to the DRB for its review and approval. If the DRB rejects the sketch plans, the Owner shall make such design changes as the DRB shall require and resubmit the sketch plans to the DRB. If the DRB approves the sketch plans, the Owner shall proceed as described in sub-paragraph 4.02(b).
- b) After obtaining the DRB’s approval of its sketch plans, the Owner shall prepare final plans and submit the same to the DRB for its review and approval. If the



DRB rejects the final plans, the Owner shall make such design changes as the DRB shall require and resubmit the final plans to the DRB. If the DRB approves the final plans, the Owner shall proceed as described in sub-paragraph 4.02 (c) below.

- c) After obtaining the DRB's approval of its final plans, the Owner shall
 - (i) prepare and submit the following documents:
 - (A) Final Working Drawings
 - (B) Initial Erosion Control and Soil Stabilization Plan (as described in paragraph 6.01 below)
 - (C) Permanent Erosion Control and Revegetation Plan (as described in paragraph 6.01 below).
 - (D) Transportation and Parking Plan (as described in paragraph 6.11 below).
 - (ii) stake the footprints of:
 - (A) All improvements to be constructed on the Site
 - (B) All parking, storage, laydown areas and limits of disturbance
 - (C) Tree removal/protection as described in Appendix H of the Regulation
 - (iii) request a site inspection from the DRB;
 - (iv) deliver its Compliance Deposit to the DRB in accordance with Section 5 below.

If the DRB rejects such submittals or finds the results of the site inspection to be unsatisfactory, the Owner shall make such changes as the DRB shall require and then resubmit such submittals to the DRB and/or request a follow-up site inspection from the DRB, as the DRB may require. If the DRB approves such submittals, finds the results of the site inspection to be satisfactory and receives the Owner's Compliance Deposit, the DRB shall approve the Owner's proposed Construction Activity and the Owner shall proceed as described in subparagraph 4.02 (e).

- d) Subsequent to its delivery of final drawings and the Compliance Deposit to the DRB under subparagraph 4.02 (c) above, the Owner may submit identical final working drawings to the Eagle County Building Department for its plan check process. In no event shall an Owner (i) initiate the plan check process with the Eagle County Building Department prior to the DRB's approval of the Owner's final plans, or (ii) submit final working drawings to the Eagle County Building Department that differ from those that the Owner submits to the DRB.
- e) After the DRB approves the Construction Activity contemplated by the Owner as described in subparagraph 4.02 (c), the Owner shall request a building permit from the Eagle County Building Department and Request any and all other necessary permits and approvals from Eagle County, Colorado, the District and any other governmental or quasi-governmental entity with jurisdiction over the Construction Site. In no event shall an Owner (i) request a building permit from the Eagle County Building Department prior to the DRB's approval of the



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Owner's proposed Construction Activity as described in sub-paragraph 4.02 (c), or (ii) commence any Construction Activity prior to obtaining

(A) the DRB's approval of such Construction Activity as described in sub-paragraph 4.02 (c), and (B) a building permit and all other necessary permits and approvals from Eagle County, Colorado, the District and any other governmental or quasi-governmental entity with jurisdiction over the Construction Site.

4.03 Construction Inspections

In addition to any inspections required by the Eagle County Building Department, the District and any other governmental or quasi-governmental entity with jurisdiction over the Construction Site, an Owner must schedule the following inspections with the DRB.

- a) Prior to commencing its Construction Activity, the Owner shall request a site inspection as described in subparagraph 4.02 (c).
- b) Upon completion of foundation construction and prior to commencing framing, Owner shall request a foundation inspection from the DRB and, simultaneously therewith, deliver to the DRB an improvement location certificate for the Construction Site, which (i) is certified by a surveyor registered in the State of Colorado, (ii) shows the location of all permanent improvements then located on the Construction Site; and (iii) sets forth the elevations of the tops of all foundation walls of all such permanent improvements. Thereafter, the DRB will inspect the foundation to ensure the Construction Activity is being performed in compliance with the approved final working drawings and this Regulation.
- c) Upon completion of core and shell framing, and prior to enclosing exterior walls and roofs, Owner shall request a framing inspection from the DRB and, simultaneously therewith, deliver to the DRB an updated improvement location certificate for the Construction Site, which (i) is certified by a surveyor registered in the State of Colorado; (ii) shows the location of all permanent improvements then located on the Construction Site; and (iii) sets forth the elevations of all floors and the highest roof ridge of all such permanent improvements. Thereafter, the DRB will inspect the framing to ensure that the Construction Activity is being performed in compliance with the approved final working drawings and this Regulation.
- d) Upon substantial completion of the Construction Activity, and prior to obtaining Eagle County Certificate of Occupancy, the Owner may request a temporary certificate of compliance inspection from the DRB and the District. Thereafter, the DRB shall inspect the Construction Site to ensure that the Construction Activity is substantially complete and has been performed in compliance with the approved final working drawings and this Regulation.
- e) Upon final completion of all portions of the Construction Activity, including all landscaping required in connection therewith and all remedial work that the DRB required the Owner to perform following the temporary certificate of compliance inspection described in subparagraph 4.03



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(d) above, the Owner shall request a final inspection from the DRB. Thereafter, the DRB shall inspect the Construction Site to ensure that all portions of the Construction Activity, including all such landscaping and remedial work, are fully complete and have been performed in compliance with the approved final working drawings and this Regulation. The DRB shall use its best effort to conduct the inspections described in subparagraphs 4.03 (a) through (e) above within seventy-two hours after receiving written requests therefor. The DRB may enter upon a Construction Site at any reasonable time to inspect the progress of a Construction Activity and ensure compliance with approved final plans and this Regulation.

4.04 Certificate of Compliance and Occupancy.

“Certificates of compliance” are issued by the DRB and the District. “Certificates of Occupancy” are issued by the Eagle County Building Department. An Owner may not occupy or otherwise use any improvement constructed on a Construction Site until it has received (i) a certificate of compliance or temporary certificate of compliance from the DRB and the District (pursuant to the District’s rules and regulations), and (ii) a Certificate of Occupancy or a temporary Certificate of Occupancy from the Eagle County Building Department.

- a) If an Owner has performed its Construction Activity in compliance with its approved final plans and this Regulation, the DRB will issue a certificate of compliance to the Owner following a final inspection conducted under subparagraph 4.03 (e) above. If the Owner has failed to perform its Construction Activity in compliance with its approved final plans and this Regulation, the Owner shall promptly perform such remedial work as the DRB shall require.
- b) If an Owner has performed its Construction Activity in compliance with its approved final plans and this Regulation, but certain insubstantial details of construction or landscaping remain to be completed, the DRB may, but is not required to, issue a temporary certificate of compliance to the Owner following an inspection under paragraph 4.03 (d). If the Owner has failed to perform its Construction Activity in compliance with its approved final plans and this Regulation, the Owner shall promptly perform such remedial work as the DRB shall require. The DRB may condition its issuance of a temporary certificate of compliance upon an increase in the amount of the Owner’s Compliance Deposit as described in subparagraph 5.03 (f).
- c) In no event shall an Owner apply for a Certificate of Occupancy from the Eagle County Building Department without first having obtained a certificate of compliance from the DRB and the District. Similarly, in no event shall an Owner apply for a temporary Certificate of Occupancy from



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the Eagle County Building Department without first having obtained a temporary certificate of compliance from the DRB and the District.

Prior to receiving permission to occupy the home, the Owner must demonstrate installation of a Knox Box to the required specifications as prescribed by the Fire Marshall or Red Sky Ranch Security.

Section 5. Compliance Deposit

After the DRB approves an Owner's proposed Construction Activity as set forth in paragraph 4.02 (c), and prior to commencing such Construction Activity, the Owner shall deliver a Compliance Deposit to the DRB, on behalf of the Association, as security for the Owner's full and faithful performance of its Construction Activity in accordance with its approved final plans and this Regulation.

5.01 Amount of the Compliance Deposit.

- a) The amount of the Compliance Deposit shall be based upon the maximum gross floor area, as measured from the outside of all exterior walls of all enclosed structures to be built on a Construction Site as follows:
The amount of the Compliance Deposit shall be based upon the maximum gross floor area, as measured from the outside of all exterior walls of all enclosed structures to be built on a Construction Site as follows:

<u>Square Footage</u>	<u>Deposit</u>
0-499	\$5,000
500-1,999	\$10,000
2,000-4,999	\$20,000
5,000-6,999	\$30,000
7,000-8,999	\$40,000
9,000 and greater	\$50,0000

- b) Notwithstanding the foregoing, with respect to any Construction Activity that consists solely of a Remodel the amount of the Compliance Deposit shall be equal to the greater of (i) two percent (2%) of the estimated cost of the Construction Activity as determined by the Red Sky Ranch Design Review Board submitted by the Owner to the Eagle County Building Department for Such Construction Activity (up to, but not to exceed \$50,000) or (ii) \$5,000.

5.02 Form of Compliance Deposit

The Compliance Deposit shall be delivered to the DRB, by certified or cashier's check or by wire transfer.



5.03 Administration of Compliance Deposit

The DRB, on behalf of the Association, shall administer each Compliance Deposit as follows:

- a) The DRB shall hold the Compliance Deposit as security for the Owner's full and faithful performance of its Construction Activity in accordance with its approved final plans and this Regulation. No interest will be paid on the Compliance Deposit to the Applicant.
- b) The Association may use, apply or retain the whole or any part of a Compliance Deposit to the extent required to reimburse DRB for any cost which DRB may incur, or may be required to incur, by reason of an Owner's non-compliance in respect of any of the terms and conditions set forth herein. The DRB shall be entitled to a fee in an amount equal to 15 percent of the amount of any costs incurred by DRB to cure any noncompliance by an Owner, which fee may be paid from the Compliance Deposit. If the amount of the Compliance Deposit is not sufficient to cure any such noncompliance by an Owner, DRB may apply the Compliance Deposit in a manner which best mitigates the effects of such noncompliance. In addition, DRB may use, apply or retain the whole or any part of a Compliance Deposit to pay to DRB any fine imposed by DRB under paragraph 7.02 below that is not paid as and when the same becomes due and payable.
- c) The Association's decision to use the Compliance Deposit as permitted hereunder shall be at the sole and absolute discretion of the DRB.
- d) If DRB so uses part or all of the Compliance Deposit as set forth in subparagraph 5.03 (b), then the Owner shall, within five days after written demand therefor from DRB, pay DRB the amount used to restore the Compliance Deposit to its original amount. Neither the Owner nor any other party shall have any rights of any kind or nature against DRB, its officers, agents, employees, directors or attorneys arising out of DRB use of the Compliance Deposit, unless DRB is grossly negligent, or intentionally acts in bad faith.
- e) DRB shall be under no obligation of any kind or nature to take any action to comply with all regulations pertaining to the Construction Activity.
- f) Any part of the Compliance Deposit not used by DRB as permitted by subparagraph 5.03 (b) shall be returned to the Owner within thirty days after the issuance of a certificate of compliance for the Site by the DRB. No portion of the Compliance Deposit shall be returned to an Owner upon the DRB's issuance of a temporary certificate of compliance. The DRB may condition its issuance of a temporary certificate of compliance upon its receipt from the Owner of funds sufficient to increase the amount of the Compliance Deposit to an amount equal to the product obtained by multiplying (i) the cost of that portion of the Construction Activity that remains to be completed, as estimated by the DRB, by (ii) 1.15.



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Section 6. Construction Requirements

Each Owner shall ensure that all Construction Activity that is performed on its Construction Site is performed in accordance with the following requirements.

6.01 Erosion Control and Vegetation Protection.

DRB shall not approve any proposed Construction Activity under subparagraph 4.02(c), unless and until it has first approved an initial Erosion Control and Soil Stabilization Plan and a permanent Erosion Control and Revegetation Plan for the Construction Site. The Owner of the Construction Site is responsible for preparing and submitting such plans to the DRB. If the DRB rejects any such plan submitted by the Owner, the Owner shall make such changes to the plan as the DRB shall require and resubmit the plan to the DRB. Once the DRB has approved such plans for a Construction Site, the Owner shall ensure that all Construction Activity is performed in compliance with such plans. In addition, the Owner shall ensure that (a) trees not authorized for removal are not damaged; (b) brush, surplus soil, and other excavated debris are promptly removed from the Construction Site; (c) dust is controlled by a dust abatement method approved by the DRB; and (d) during all Construction Activity, all driveway, parking and lay-down areas are covered with at least two inches of three/quarter inch screened rock.

6.02 Construction Hours/Noise

Each Owner shall use all reasonable efforts to minimize external noise resulting from its Construction Activity.

Construction Activity within Red Sky Ranch is permitted during the following times;

Monday-Friday: 7:30am-7:00pm Saturday: 8:00am-5:00pm

Sunday: No Construction

Holidays: No construction

6.03 Protection of Property

An Owner's Construction Activity shall be limited to its Construction Site, unless the DRB Security Department provides specific written authorization to the contrary. Access to the parcel shall be only from the approved road adjoining the site. An Owner shall restore promptly any adjacent lots or roads damaged during its Construction Activity to the DRB's satisfaction and, in any event, within thirty days after such damage occurs. If restoration is not accomplished by the end of the growing season following completion of construction, all required repairs will be performed by Red Sky Ranch Association, with all costs plus 50% thereof charged to the person in whose name the building permit was issued. The Owner shall ensure that a temporary visual screen or temporary fence of not less than four feet in height be constructed and maintained along the limits of disturbance line.



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6.04 Temporary Structures

Temporary Structures may be maintained on a Construction Site. Temporary living quarters shall not be permitted on a Construction Site. All Temporary Structures erected on a Construction Site shall be removed within thirty days after completion of the Construction Activity. Temporary structures shall be screened to minimize the visual impact to other Owners and Guests. Plans for the placement and screening of Temporary Structures must be approved by the DRB prior to the erection of the Temporary Structures. Trash dumpsters maintained on a Construction Site are deemed to be temporary structures and shall be visually screened to the greatest extent practicable. Once a trash dumpster is one-half (1/2) full, it shall be covered with a cover supplied by the owner of the dumpster, or with a cover that has been approved by the DRB, until emptied or removed from the Construction Site.

6.05 Water Connections and Toilets

A temporary water connection and on site enclosed chemical toilets must be available at all times when Construction Activity is taking place on a Construction Site. Chemical toilets shall be screened from view and shall be located so as to minimize any adverse impacts on adjacent Sites.

6.06 Blasting Restrictions

No blasting shall be performed on any Construction Site without the DRB's prior consent. Blasting may be subject to certain restrictions, which shall be determined by the DRB in its sole and absolute discretion and which may vary from Site to Site.

6.07 Signs

No signs shall be displayed on a Construction Site without the prior written approval of the DRB.

One construction sign will be allowed for each project. The sign shall not exceed 16 square feet of total area, and shall be located within the project boundary and visible from an adjacent roadway and/or entry to the project. The sign will be freestanding and constructed in a standardized format as provided by the DRB. Construction signage will be allowed for the duration of construction or 18 months, whichever is less.

Signs with the intended use of selling property are prohibited. No other or additional signs may be displayed on the property without written approval of the DRB.

6.08 Roadway Maintenance

An Owner shall repair any damage to roads within Red Sky Ranch caused by Construction Vehicles used in connection with such Owner's Construction Activity and shall keep all such roads free and clear of all materials rubbish and debris resulting from



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such Owner's Construction Activity. No road cuts, deletions or additions shall be made without the consent of the District.

6.09 Access and Parking

- a) Access to Construction Sites shall be subject to regulations governing the use of roads within Red Sky Ranch as adopted by the District from time to time.
- b) Construction Vehicles shall gain access to Construction Sites only from existing roads adjacent to the Construction Sites.
- c) Prior to the site inspection described in subparagraph 4.02 (c), an Owner of a Construction Site shall submit a written Parking and Transportation Plan to the DRB and the District for review and approval. Each such Parking and Transportation Plan shall describe (i) how and where Construction Vehicles will be parked at the Construction Site during the Construction Activity; (ii) the maximum number of Construction Vehicles that will be parked at or adjacent to the Construction Site at any one time; and (iii) the manner in which construction workers will be transported to and from the Construction Site.
- d) No Construction Activity shall commence at a Construction Site until the DRB and the District have approved a Parking and Transportation Plan for that Construction Site in writing. The DRB may require modifications to any proposed Parking and Transportation Plan submitted by an Owner. Such modifications may include, without limitation, modifications that (i) alter designated Construction Vehicle parking areas; (ii) limit the maximum number of Construction Vehicles that may be parked at or adjacent to a Construction Site; (iii) alter the manner in which construction workers will be transported to and from the Construction Site; and (iv) require the Owner to pay a reasonable fee to the Red Sky Ranch DRB to use DRB bus system to transport construction workers to and from the Construction Site if the DRB determines that use is necessary.

6.10 Construction Lighting

No Construction Site or Construction Activity shall be lighted unless and until a construction lighting plan has been submitted to, and approved by, the Security Department and the DRB. All exterior construction lighting shall be connected to a motion sensor. All interior construction lighting, including lights within temporary structures such as construction offices, shall be turned off when not actually in use. The DRB shall not approve any construction lighting plan unless it determines that the proposed lighting will not cause unreasonable glare upon or the excessive lighting of property not owned by the Owner of the Construction Site.

6.11 Business License

All Owners and Owner Representatives shall obtain an Annual Business License if required to do so by Red Sky Ranch Association Annual Business Licenses Regulation. Business licenses for general contractors and architects are subject to DRB approval.



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6.12 Animals

No Owner Representative or Construction worker may keep or maintain a dog or other pet on a Construction Site at any time.

6.13 Continuity of Construction

Unless other-wise approved by the DRB, each Owner shall ensure that each Construction Activity it performs (a) commences within one year after the DRB's approval of final plans therefor; (b) is substantially complete within 16 months after commencement thereof; and (c) is fully and finally complete, including all required landscaping, within 24 months after commencement thereof.

The DRB, at its sole discretion, may impose a fine if all Construction Activity, including all required landscaping, is not fully and finally complete within 24 months of commencement. In this case, the Owner shall be subject to a \$3,000 fine for the first month construction continues past 24 months. This fine will increase by \$1,000 for each additional month construction continues.

Once a Construction Activity commences, the Owner must actively and diligently pursue the project to its completion.

6.14 Compliance with Laws and Regulations.

- a) Each Owner shall, at its own expense, comply with all terms and conditions of this Regulation, District road regulations, the Declaration and all other regulations promulgated from time to time by DRB that are applicable to its Construction Activities.
- b) Each Owner shall, at its own expense, comply with all federal, state, and local laws, ordinances, orders, rules, regulations and other governmental requirements relating to its Construction Activities.
- c) Each Owner shall, at its own expense, ensure that its Owner Representatives comply with the terms and conditions of subparagraphs 6.13 (a) and (b) above.

Section 7. Enforcement

If an Owner or any Owner Representative violates any term or condition set forth herein, DRB shall have the following rights and remedies.

7.01 Right to Cure

DRB may, but is not obligated to, enter upon the Construction Site and cure such violation at the Owner's cost and expense. If DRB cures any such violation, the Owner shall pay to DRB the amount of all costs incurred by DRB in connection therewith, plus an administrative fee equal to 15 percent of all of such costs, within five days after the Owner receives a written invoice therefor from DRB.

7.02 Right to Fine



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The DRB may impose a fine of \$100 against the Owner for the first violation of any term or condition of this Regulation. For each subsequent violation of that same term or condition, DRB may impose a fine in twice the amount of the fine imposed against the Owner for the Owner's last violation of that same term or condition. The Owner shall pay any fine imposed under this paragraph 7.02 within five days after the Owner receives written notice thereof. DRB hereby delegates its power to fine under this paragraph 7.02 to the DRB and the Security Department.

7.03 Right to Sue for Injunctive Relief.

DRB may sue the Owner to enjoin such violation.

7.04 Right to Sue for Damages

DRB may sue the Owner for all damages, losses, costs and expenses, including, without limitation, reasonable attorney's fees and disbursements incurred by DRB as a result of the violation.

7.05 Lien

DRB shall have a lien against the Site and all of the Owner's other properties within Red Sky Ranch to secure payment of (a) any fee, charge, fine or other amount due from the Owner to DRB under this regulation, (b) interest on any unpaid amounts at the rate of 18 percent per annum from the date due until paid, and (c) all costs and expenses of collecting any unpaid amounts, including, without limitation, reasonable attorney's fees and disbursements. Any such lien may be foreclosed as a mortgage under the laws of the State of Colorado.

7.06 Other Rights and Remedies

DRB shall have all other rights and remedies available to it at law or in equity. All rights and remedies of DRB shall be cumulative and the exercise of one right or remedy shall not preclude the exercise of any other right of remedy.

Section 8. Appeals and Fines

An Owner may appeal any fine imposed against the Owner by the DRB to the DRB's Fine Appeals Committee (the "FAC") in accordance with the following terms and conditions. Within five days after receiving written notice from the DRB or the Security Department that such entity is imposing a fine against the Owner, the Owner may file a written appeal with the FAC. If the Owner fails to file a written appeal with the FAC within such five-day period, the Owner shall have no further right to appeal the fine under this Section 8. If the Owner files a written appeal within such five-day period, the FAC shall review such appeal and within 45 days deliver a written decision with respect thereto to the Owner and to the DRB or the DRB, as the case may be, within thirty days after its receipt of such appeal. If the FAC decides in favor of the Owner, the DRB shall revoke its notice imposing the fine. If the FAC decides in favor of the DRB, the Owner shall pay such fine within five days after its receipt of the FAC's decision.



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G
TREE REMOVAL
PROCEDURES



G TREE REMOVAL PROCESS

1. Concurrently with the submission of the final working drawing package, a DRB site inspection is to be scheduled. During this site inspection, the DRB will be reviewing the stakes for the house and driveway. In addition, the Owner is to identify trees planned for removal and trees to be saved within disturbed areas:

For proposed tree removals:

- Bright pink flagging with a single band on all trees greater than 8 inches in diameter within the Homesite.
- Bright pink flagging with a double band on all trees greater than 3 inches in diameter outside the Homesite.
- Where removal of prominent clusters or groves of Aspen is proposed, wrap flagging tape around entire group.

For trees to be saved within disturbed areas:

- White flagging on all trees with handwritten note “save”.

Prior to the site inspection, the owner is to submit plans, details, and specifications for proposed tree protection and maintenance during construction and permanent improvements such as tree wells, aeration systems etc., for trees to be saved within disturbed areas.

1. The DRB Staff will review the flagging on site and the plans with the Owner and will notify the Owner of its findings.
2. Flagging on the trees is to be changed as directed by the DRB and left in place on the trees to be saved for the duration of the construction process.
3. The final working drawings are to include existing trees to be saved on the site plans and landscape plans along with the previously reviewed and approved documents for tree protection, maintenance, fertilization, and permanent improvements such as tree wells, aeration systems, etc.
4. Any person who removes, destroys, or significantly damages a tree of three inches caliper or more beyond the reasonable limits of construction or outside of the Parcel, shall be liable to the Red Sky Ranch DRB for the sum of \$10,000 for each tree destroyed. The Red Sky Ranch DRB may authorize the removal of trees in the event a tree is disease bearing or poses a threat to health and safety. This does not preclude the DRB from requiring trees to be replanted as further restitution to the irreparable damage caused by the unauthorized destruction of trees. After staking of Parcel, driveway, parking areas, patios, etc., it is the obligation of the Applicant to notify the DRB for an appointment to inspect the site.



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H
MAXIMUM BUILDING
HEIGHTS



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H MAXIMUM BUILDING HEIGHTS

Lot Number	Maximum Building Height
1	35
2	35
3	35
4	35
5	35
6	35
7	35
8	35
9	35
10	35
11	35
12	35
13	35
14	35
15	35
16	35
17	35
18	35
19	28
20	28

Lot Number	Maximum Building Height
21	35
22	35
23	28
51	35
52	35
53	35
54	35
55	28
56	28
57	28
58	28
59	28
60	28
61	35
62	35
63	35
64	35
65	35
66	35
67	35
68	35

Lot Number	Maximum Building Height
70	35
71	35
72	35
73	35
74	35
75	35
76	35
77	35
78	35
79	35
80	35
81	35
82	35
83	35
84	35
85	35
86	35
87	35
88	35
89	35



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I
APPROVED PLANT LIST



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I APPROVED PLANT LIST

Non-native species to be considered by the DRB only within building envelopes.

* Denotes Native Plants

BOTANICAL NAME

COMMON NAME

TREES

*Juniperus osteosperma**
Juniperus scopulorum
*Picea pungens**
*Picea engelmannii**
Pinus aristata
*Populus tremuloides**
*Pseudotsuga menziesii**
Pinus cembroides

Utah juniper
Rocky Mountain juniper
Blue Spruce
Engelmann Spruce
Bristlecone Pine
Aspen
Douglas-fir
Pinyon Pine

SHRUBS

*Acer glabrum**
*Amelanchier alnifolia**
Artemisia tridentata ssp. *vaseyana**
*Cercocarpus montanus**
*Chrysothamnus nauseosus**
*Chrysothamnus viscidiflorus**
*Juniperus communis**
*Lonicera involucrata**
*Pentaphylloides floribunda**

Mountain maple
Serviceberry
Mountain big
sagebrush
Mountain mahogany
Rubber rabbitbrush
Low rabbitbrush
Common juniper
Honeysuckle

*Prunus virginiana**
*Purshia tridentata**
*Quercus gambelii**
Rhus aromatica ssp. *trilobata**
Rhus glabra
Ribes aureum
*Ribes cereum**
Ribes spp.*
*Rosa rubrifolia**
*Rosa woodsii**
*Rubus parviflorus**
Sambucus microbotrys
*Sambucus racemosa**
*Sorbus scopulorum**
*Symphoricarpos oreophilus**
*Tetradymia canescens**

Chokecherry
Bitterbrush
Gambel oak
Skunkbrush
Smooth sumac
Yellow currant
Wax currant
Gooseberry
Ridgeway rose
Woods rose
Thimbleberry
Red elderberry
Red elderberry
Mountain ash
Snowberry
Horsebrush



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BOTANICAL NAME

COMMON NAME

SHRUBS

*Arctostaphylos uva-ursi**
*Artemisia frigida**
*Eriogonum umbellatum**
*Eurotia lanata**
*Mahonia repens**

Kinnikinnik
Fringed sage
Sulphur flower
Winterfat
Oregon grape

PERENNIAL GRAMINOIDS

*Agropyron dastystachyum**
*Agropyron smithii**
*Agropyron spicatum**
Agropyron trachycaulum
Bromus inermis
Bromus lanatipes
Bromus marginatus
Bromus pumpelliana
*Carex geyeri**
Dactylis glomerata
*Deschampsia cespitosa**
*Elymus canadensis**
*Elymus cinereus**
*Elymus glaucus**
*Festuca idahoensis**
*Festuca ovina**
*Festuca rubra**
*Festuca thurberi**
*Koeleria cristata**
Oryzopsis hymenoides
Phleum pretense
*Poa ampla**
*Poa canbyi**
*Poa compressa**
Poa pratensis
*Poa sandbergii**
*Sitanion hystrix**
*Stipa columbiana**
*Stipa lettermanii**
*Stipa nelsonii**
*Stipa viridula**

Thickspike wheatgrass
Western wheatgrass
Bluebunch wheatgrass
Slender wheatgrass
Smooth brome
Nodding brome
Mountain brome
Native brome
Elk sedge
Orchard grass
Tufted hairgrass
Canada wildrye
Basin wildrye
Blue wildrye
Idaho fescue
Sheep fescue
Red fescue
Thurber fescue
Junegrass
Indian ricegrass
Timothy
Big bluegrass
Canby bluegrass
Canada bluegrass
Kentucky bluegrass
Sandberg bluegrass
Squirreltail
Columbia needlegrass
Letterman needlegrass
Nelson needlegrass
Green needlegrass



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PERENNIAL FORBS

*Achillea lanulosa**
Actea rubra ssp. *arguta**
*Anaphalis margaritacea**
*Antennaria rosea**
*Aquilegia coerulea**
*Aquilegia elegantula**
*Artemisia dracunculus**
*Aster ascendens**
*Aster chilensis**
*Aster coloradoensis**
*Aster engelmannii**
*Aster glaucodes**
*Balsamorhiza sagittata**
*Campanula rotundifolia**
*Castilleja sulphurea**
Cirsium eatonii
*Clematis columbiana**
*Disporum trachycarpum**
*Epilobium angustifolium**
*Erigeron simplex**
*Erigeron speciosus**
Fragaria vesca ssp. *bracteata**
Frasera speciosa
*Galium septentrionale**
*Geranium viscosissimum**
*Helianthella quinquenervis**
*Heliomeris multiflora**
Heracleum spondylium ssp. *montanum*
Lathyrus leucanthus Peavine
*Linum lewisii**
*Linum perenne**
*Lupinus argenteus**
Lupinus bakeri spp. *bakeri**
*Lygodesmia juncea**
*Monarda fistulosa**
*Osmorhiza depauperata**
*Pedicularis procera**
*Penstemon strictus**
*Penstemon whippleanus**

Western yarrow
Baneberry
Pearly everlasting
Pussytoes
Blue columbine
Red columbine
Wormwood
Aster
Pacific aster
Colorado aster
Engelmann aster
Glaucous aster
Balsamroot
Harebell
Sulphur paintbrush
Eaton thistle
Blue clematis
Fairybells
Fireweed
Daisy
Showy daisy
Strawberry
Green gentian
Northern bedstraw
Sticky geranium
Little sunflower
Showy goldeneyed
Cow parsnip
Peavine
Blue flax
Blue flax
Blue lupine
Baker lupine
Skeleton weed
Beebalm
Sweet cicely
Lousewort
Rocky Mountain Penstemon
Whipple penstemon



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PERENNIAL FORBS (continued)

Potentilla pulcherrima*
Rudbeckia hirta*
Senecio serra*
Silene vulgaris
Smilacina stellata*
Solidago canadensis
Solidago spathulata*
Sphaeralcea coccinea*
Taraxacum officinale
Thalictrum fendleri*
Trifolium repens
Trifolium pratense
Vicia americana*
Viguiera multiflora*
Viola canadensis*

Cinquefoil
Blackeyed Susan
Saw groundse
Campion
False Solomon's Seal
Canada goldenrod
Goldenrod
Scarlet globemallow
Dandelion
Meadowrue
White Dutch clover
Red clover
American vetch
Showy goldeneye
Canadian violet

ANNUAL / BIENNIAL FORBS

Arabis glabra
Carduus nutans ssp. macrolepis
Chenopodium berlandieri
Ipomopsis aggregata*
Lactuca serriola
Melilotus officinalis
Orthocarpus luteus*
Plantago major
Thlaspi arvense
Tragopogon dubius

Tower mustard
Musk thistle
Goosefoot
Scarlet gilia
Prickly lettuce
Sweet clover
Owl clover
Plantain
Pennycress
False salsify



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J
DEER AND ELK RESISTANT
PLANT LIST



RED SKY RANCH®

J DEER AND ELK RESISTANT PLANT LIST

BOTANICAL NAME FREQUENCY	COMMON NAME	BROWSING
TREES		
Alder	<i>Alnus tenuifolia</i>	sometimes
Fir, Douglas	<i>Pseudotsuga menziesii</i>	rarely
Maple, Box Elder	<i>Acer negundo</i>	rarely
Maple, Rocky Mountain	<i>Acer glabrum</i>	sometimes
Pine, Limber	<i>Pinus flexilis</i>	rarely
Pine, Lodgepole	<i>Pinus contorta</i>	sometimes
Plum, Wild	<i>Prunus Americana</i>	rarely
Spruce, Blue	<i>Picea pungens</i>	rarely
Spruce, Engelmann	<i>Picea engelmannii</i>	rarely
SHRUBS		
Bearberry	<i>Arctostaphylos uvaursi</i>	sometimes
Buffaloberry	<i>Shepherdia Canadensis</i>	sometimes
Ceanothus, Fendler (Buckbrush)	<i>Ceanothus fendleri</i>	sometimes
Creeper, Virginia	<i>Parthenocissus inserta</i>	rarely
Currant, Golden	<i>Ribes aureum</i>	sometimes
Currant, Wax	<i>Ribes cereum</i>	sometimes-rarely
Goldenrod	<i>Solidago</i> spp.	sometimes-rarely
Holly-grape, Oregon	<i>Mahonia repens</i>	sometimes-rarely
Honeysuckle	<i>Lonicera involucrata</i>	sometimes-rarely
Ivy, English	<i>Hedera helix</i>	sometimes-rarely
Jamesia	<i>Jamesia americana</i>	sometimes
Juniper, Common	<i>Juniperus communis</i>	rarely
Lead Plant	<i>Amorpha fruticosa</i>	rarely
Licorice, Wild	<i>Glycyrrhiza obtusata</i>	sometimes
Mountain Mahogany, Curlleaf	<i>Cercocarpus ledifolius</i>	sometimes-rarely
Ninebark	<i>Physocarpus monogynus</i>	rarely
Potentilla/Cinquefoil	<i>Potentilla</i> spp.	rarely
Rabbitbrush	<i>Chrysothamnus nauseosus</i>	sometimes
Raspberry	<i>Rubus deliciosus</i>	sometimes
Skunk Brush	<i>Rhus trilobata</i>	rarely
Snowberry, Western	<i>Symphoricarpos occidentalis</i>	rarely
Spiraea, Bluemist	<i>Caryopteris incana</i>	rarely



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COMMON NAME FREQUENCY	SCIENTIFIC NAME	BROWSING
FLOWERS		
Arnica, Heartleaf	Arnica cordifolia	sometimes
Aster, Hairy Golden	Heterotheca villosa	sometimes-rarely
Bedstraw, Northern	Galium boreale	sometimes
Blazing Star	Liatris punctate	sometimes
Bluebells, Chiming Bells	Mertensia ciliata	sometimes
Cactus, Prickly Pear	Opuntia polyacantha	sometimes-rarely
Chickweed, Mouse-ear	Cerastium vulgatum	sometimes
Coneflower, Prairie	Ratibida columnifera	sometimes-rarely
Coneflower, Tall	Rudbeckia lacinata	sometimes
Daffodils		sometimes-rarely
Flax, Flue	Linum lewisii	rarely
Fleabane, Daisy	Erigeron spp.	sometimes-rarely
Gaillardia/Blanketflower	Gaillardia aristata	rarely
Gilia, Scarlet	Ipomopsis aggregate	sometimes
Golden, Banner	Thermopsis divaricarpa	sometimes-rarely
Goldenrod, Missouri/Smooth	Solidago missouriensis	sometimes
Gumweed, Curly-cup	Grindelia squarrosa	rarely
Harebell, Mountain	Campanula rotundifolia	rarely
Houndstongue	Cynoglossum officinale	rarely
Hyacinth, Grape		sometimes-rarely
Iris, Wild	Iris missouriensis	sometimes-rarely
Larkspur, Nelson's	Delphinium nelsonii	sometimes-rarely
Lavender		sometimes-rarely
Lily, Mariposa	Calochortus gunnisoni	sometimes-rarely
Locoweed, Lambert	Oxytropis lamberti	sometimes-rarely
Lupine, Silver	Lupinus argenteus	sometimes-rarely
Marjoram		sometimes-rarely
Milkweed, Showy	Asclepias speciosa	rarely
Miner's Candle	Cryptantha virgate	rarely
Mullein	Verbascum thapsus	rarely
Pasque Flower	Pulsatilla patens	sometimes
Pearly Everlasting	Anaphalis margaritacea	rarely
Pussytoes, Rose	Antennaria rosea	sometimes
Rhubarb		rarely
Sagebrush, Wyoming Big	Artemisia tridentata	sometimes
Sagewort, Common	Artemisia campestris	sometimes-rarely
Salvia	Salvia reflexa	sometimes-rarely
Santolina		sometimes-rarely
Scorpionweed	Phacelia heterophylla	sometimes-rarely



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Snow-on-the-Mountain	Euphorbia marginata	rarely
Solomon Seal, Few flowered False	Smilacina stellata	sometimes
Spearmint	Mentha spicata	sometimes
Stonecrop, Yellow	Sedum lanceolatum	rarely
Sulphur-flower	Erigeron umbellata	rarely
Sunflower, Common	Helianthus annuus	sometimes
Thyme		sometimes
Wallflower, Western	Erysimum asperum	rarely-sometimes
Yarrow	Achillea lanulosa	sometimes-rarely

GRASSES

Bluestem, Little	Schizachyrium scoparium	rarely
Buffaloegrass	Buchloe dactyloides	rarely
Dropseed, Sand	Sporobolus cryptandrus	sometimes
Fescue, King Spike	Leucopoa kingii	sometimes
Grama, Blue	Bouteloua gracilis	rarely
Grama, Sideoats	Bouteloua curtipendula	rarely
Junegrass, Prairie	Koeleria cristata	sometimes
Needle & Thread	Stipa comata	sometimes
Oatgrass, Timber	Danthonia spicata	sometimes
Saltgrass, Inland	Dactylis glomerata	sometimes
Squirreltail	Sitanion hystrix	sometimes
Timothy	Phleum pratense	sometimes
Wheatgrass, Crested	Agropyron cristatum	sometimes
Wheatgrass, Western	Agropyron smithii	sometimes



RED SKY RANCH®
& GOLF CLUB

K
ALLOWABLE IRRIGATION
CHART



RED SKY RANCH®

K IRRIGATION CHART

Allowable irrigation is 5,000 sq. ft. per home site. Landscape materials will be calculated cumulatively per the chart below. For instance, 100sf of sod and one large tree would equal 116sf of irrigation.

Sod - per sq. ft.

Perennials – per sq. ft.

Shrubs 5 gal – 1 sq. ft.

Ball and burlap shrubs – 4-9 sq. ft.

Small tree – 9 sq. ft.

Large trees - 16 sq. ft.