

**STRAWBERRY PARK
AT BEAVER CREEK
DESIGN REGULATIONS**

**A supplement to the Beaver Creek
Design Regulations**

**Approved by Beaver Creek
Design Review Board on
November 16, 1995**

In order to preserve the natural beauty of Strawberry Park at Beaver Creek and its setting, to maintain Strawberry Park at Beaver Creek as a pleasant and desirable environment, to establish and preserve a harmonious design for the neighborhood, and to protect and promote the value of property, exterior design, landscaping and use of all new development and additions, changes or alterations to existing use, landscaping and exterior design and development shall be subject to design review.

In accordance with the Amended and Restated General Declaration for Beaver Creek, Eagle County, Colorado, this document sets forth supplemental rules and regulations that shall state the general design theme, and specific design requirements of all projects in Strawberry Park at Beaver Creek.

This document has been officially adopted by the Beaver Creek Design Review Board. These regulations may be amended from time to time by the Beaver Creek Design Review Board. Owners should check with the Beaver Creek Design Review Board for amendments to these guidelines and other information relevant to building in Strawberry Park at Beaver Creek.

Beaver Creek Design Review Board

I. INTRODUCTION TO STRAWBERRY PARK AT BEAVER CREEK

Purpose of the Strawberry Park at Beaver Creek Design Regulations

All buildings and improvements constructed in Strawberry Park at Beaver Creek will be evaluated in accordance with the design review procedures outlined in the Beaver Creek Single Family and Duplex Residences Design Regulations, Beaver Creek Landscape Design Regulations and the Beaver Creek Design Regulations Log Homes. All homes and improvements in Strawberry Park at Beaver Creek will also be reviewed for compliance with the Strawberry Park at Beaver Creek Design Regulations. These supplemental regulations have been written in order to implement design goals for Strawberry Park at Beaver Creek and to ensure that all homes and improvements are responsive to Strawberry Park at Beaver Creek's unique natural environment.

The Strawberry Park at Beaver Creek Design Regulations have been prepared for a number of different reasons. First, these regulations will provide the primary tool for implementing the Strawberry Park at Beaver Creek design philosophy. Secondly, the Beaver Creek Resort Agreement of 1994 between Vail Associates, Inc. and the Beaver Creek Property Owners Association, Inc. includes a number of design considerations that are to be addressed during the development of Strawberry Park at Beaver Creek. These regulations provide a means for addressing these considerations. Finally, the Strawberry Park at Beaver Creek Design Regulations provide a mechanism for implementing a number of conditions imposed by Eagle County during the review and approval of the Amended and Restated Guide to the Beaver Creek Planned Unit Development.

Much of Beaver Creek Resort's success can be attributed to the exceedingly high quality design and construction standards that have been established by the Beaver Creek Design Regulations. The Strawberry Park at Beaver Creek Design Regulations will continue this tradition of design excellence by setting even higher standards and expectations for development in Strawberry Park at Beaver Creek. Through the implementation of these regulations, Strawberry Park at Beaver Creek will establish design and development standards by which all other resort communities will be measured.

The Strawberry Park at Beaver Creek Design Philosophy

Strawberry Park at Beaver Creek presents an opportunity to establish the premier residential neighborhood within what is one of the world's premier resort destinations. Located on the Western Hillside above Beaver Creek Village, Strawberry Park at Beaver Creek's natural setting offers unparalleled attributes. Views of Beaver Creek Village and the Gore Range, dense stands of aspen and conifers, high alpine meadows, and ski-in/ski-out access to the slopes of Beaver Creek Mountain typify the spectacular homesites found in Strawberry Park at Beaver Creek. Set within the grandeur of the Colorado Rocky Mountains, Strawberry Park at Beaver Creek is a truly extraordinary neighborhood within a truly extraordinary resort.

Strawberry Park at Beaver Creek is distinguished from other neighborhoods within Beaver Creek Resort and throughout the Vail Valley by virtue of its spectacular mountain setting. The essence of the Strawberry Park at Beaver Creek design philosophy is to preserve and enhance this magnificent natural setting. In order to accomplish this objective each of Strawberry Park at Beaver Creek's thirty homesites will be designed to respect the beauty of their surroundings and complement, not overpower, the natural landscape. Buildings should be integral with their site and blend with the landscape so as to be as unobtrusive as possible. While many homes in Strawberry Park at Beaver Creek will have spectacular views of Beaver Creek Resort, an underlying goal of these guidelines is for the development of homes in Strawberry Park at Beaver Creek to be as innocuous as possible when viewed from other areas within Beaver Creek Resort.

The design philosophy for Strawberry Park at Beaver Creek is guided by a number of very fundamental concepts. For example, all buildings and improvements will be designed in response to the natural characteristics of their setting. The removal of trees and site grading will be kept to a minimum amount necessary to construct a home. In order to blend buildings and improvements with their setting, only a limited number of natural building materials will be permitted and the use of subtle colors will be required. Building form, scale and massing will be understated and in all cases responsive to the natural topography of the site. Finally, landscape improvements will be designed to enhance existing natural vegetation and to strengthen the integration of buildings with their site.

The design and construction of all improvements within Strawberry Park at Beaver Creek will be controlled by the Strawberry Park at Beaver Creek Design Regulations and other applicable Beaver Creek design regulations. A very stringent set of design regulations has been established for Strawberry Park at Beaver Creek and in order to ensure that the design philosophy for Strawberry Park at Beaver Creek is achieved, the implementation and enforcement of these regulations will be uncompromising. While these supplemental guidelines are generally more restrictive than other applicable Beaver Creek design regulations, all applicable elements of the Beaver Creek regulations shall also apply to Strawberry Park at Beaver Creek. In the event of any conflicts between these supplemental regulations and other Beaver Creek design regulations, the more restrictive provision shall apply.

II. ARCHITECTURE

Introduction

The goals of architectural guidelines are to reinforce the Strawberry Park at Beaver Creek design philosophy by encouraging the integration of buildings with their site, and to ensure a high level of design quality and continuity. These goals will be achieved in a number of ways. For example, building form, massing and scale should be sensitive to the natural characteristics of a site. The use of building materials typically found in the Colorado Rocky Mountains will be encouraged. Building colors will be selected in order to blend improvements with their site.

There is no single architectural style that typifies the Strawberry Park at Beaver Creek design philosophy. Rather, through the implementation of the design concepts described below, buildings in Strawberry Park at Beaver Creek will establish their own distinctive design style.

Building Envelopes and Homesites

In order to ensure that every home in Strawberry Park at Beaver Creek is sited in the most appropriate location, specific locations for homes have been defined within each building envelope. These specific building locations are referred to as homesites. Homesites are designated on the Strawberry Park at Beaver Creek Development Plan. This plan contains the legally described center point of each prescribed homesite. In addition a Lot Diagram has been prepared for each lot which generally indicates the homesite location and suggested access to each homesite. Homesites are defined by a 100' diameter circle that encompasses 7,850 square feet of land area. The prescribed homesite has been identified as the optimum location for buildings and improvements upon each lot.

Homesite locations were determined based on planning and design objectives for Strawberry Park at Beaver Creek and on the site specific characteristics of each lot. The first objective for locating homesites was to identify the portion of each lot that would allow the design of a home to optimize views, privacy, solar orientation, vegetation and other attributes of the lot. Secondly, homesites were located on a "buildable" portion of the site that will allow for convenient access to the Strawberry Park at Beaver Creek road system. Third, homesites were located to ensure adequate separation between homes. Finally, homesites were located to direct construction away from environmentally sensitive areas and natural features of each lot.

It is the intention of these regulations that all structures and site improvements such as patios, pools and accessory buildings be located within the homesite, however, it is also recognized that each homesite presents its own unique design challenges and owners and their architects may develop design solutions involving encroachments outside of the homesite area that may be appropriate in certain cases. In order to respond to such cases, the Design Review Board has the authority to approve both minor and major encroachments outside of the homesite and changes to the location of the homesite.

Minor Encroachments

Minor encroachments outside of the homesite that may be approved by the Design Review Board include:

1) portions of the residence that include habitable space not exceeding twelve feet outside of the prescribed homesite, 2) minor encroachments outside the prescribed homesite such as roof overhangs, balconies, service areas, porches, and 3) patios and garages located outside of the prescribed homesite.

All proposals for construction that encroaches outside of the homesite or proposals to change the location of a homesite shall be evaluated by the Design Review Board and all decisions regarding such proposals shall be made solely at the discretion of the Design Review Board. It shall be the responsibility of the owner and their design team to demonstrate to the Design Review Board that the proposed encroachment or change to the location of a homesite is consistent with the planning and design objectives for Strawberry Park at Beaver Creek. As stated above, all decisions regarding encroachments outside of the homesite and changes to the location of a homesite on these lots are subject to the discretion of the Design Review Board.

Notwithstanding the above, certain limitations do apply to encroachments and changes to homesites on lots 4, 5, 6, and 7. A building setback line has been established on these lots to ensure that the visibility of these homes from other areas of Beaver Creek Resort is minimized. No encroachments or changes to homesite locations that extend beyond this setback line can be approved by the Design Review Board. The setback line is indicated on the Strawberry Park at Beaver Creek Development Plan.

Major Encroachments

Unless constituting a Minor Encroachment, any modification to the Building Homesite require a Building Homesite Amendment. Property owners may amend the Building Homesite by either of the following procedures:

Administrative Procedure

The owner shall submit to the Design Review Board an Amended Plan prepared by a licensed surveyor showing both the old and the new Homesite, the names, mailing addresses and written approval to amend the Building Homesite from all owners of any property abutting, directly across the street from or within 75 feet of the property for which the Building Homesite is requested. If the foregoing requirements are met, the DRB may consider approval of the amended homesite.

Public Meeting

The owner shall submit to the DRB (1) an Amended Plan prepared by a licensed surveyor showing both the old and the new Building Homesite. A public meeting of the DRB shall be held, notice of which has been sent by first class mail at least 30 days prior to the DRB meeting to owners of property which has a boundary line abutting, directly across the street from or within 75 feet of the property for which the Building Homesite amendment is requested. Such notice shall state the general nature of the DRB hearing and the date of the DRB hearing.

The Building Homesite Amendment may be approved by the DRB if the DRB finds that the Building Homesite Amendment (1) does not substantially impact in an adverse manner the view corridor of any property owner to whom notice of the proposed Building Homesite Amendment has been sent, (2) is required by geologic or other hazard considerations, (3) does not appreciably increase the visibility of the proposed home from other areas of Beaver Creek Resort, (4) does not substantially reduce the distance between the home and homesites on adjacent lots, and (5) is sensitive to the natural features of the lot.

Site Coverage

In no case shall building site coverage, exclusive of at grade patios, balconies, or overhangs, exceed 7850 square feet or 30% of the total lot area, whichever is more restrictive.

Floor Area

One of the underlying design goals for Strawberry Park at Beaver Creek is for homes and improvements to be sensitively integrated with their site. In order to avoid massive structures that dominate their site, a maximum allowable floor area has been established for each lot in Strawberry Park at Beaver Creek. Lots 1-17, 19-24, 28 and 30 may be up to 10,000 square feet in floor area. Homes on lots 18, 25-27, and 29 may be up to 8,500 square feet in floor area.

Floor area shall be defined as:

The sum of all finished or potentially habitable floor space of a building, as measured from the interior face of exterior walls. Basement space shall be included in floor area calculations. Garage space necessary to provide for enclosed parking shall be excluded from the calculation of floor area.

The final calculation of floor area shall be made by the Design Review Board.

Roofs

The use of non-combustible roof materials is strongly encouraged in Strawberry Park at Beaver Creek. Examples of materials that may be approved by the Design Review Board include unit pieces such as slate and flat profile unglazed concrete tile. The color of all roof material shall blend with the natural characteristics of the site and shall be limited to colors indicated on the approved color guide for Strawberry Park at Beaver Creek. Metal roofs, glazed tiles, fiberglass and asphalt shingles are not permitted in Strawberry Park at Beaver Creek. Pre-patinaed copper shingle roofs may be permitted with approval of the DRB. All wood shake roofs are to be a minimum Class B fire retardant rating. The Class B rating must meet standard NFPA 256 and ICBO-UBC 32-7 for fire rating and permanency of fire retardant polymers.

Exterior Walls

The use and composition of exterior wall materials should accurately convey the structural integrity of the building. In order to express continuity and simplicity, no more than three exterior wall materials should be used on a building. Stone should be used on all homes in Strawberry Park at Beaver Creek. Stone should be indigenous to the Colorado Rocky Mountains and should have a relatively flat surface such as sandstone or quarried field stone. The use of rainbow rock is not permitted. All stone should be laid in a random pattern and larger stones should be laid below smaller stones. The use of stucco should generally be limited to a secondary wall material or as an accent element. Stucco should be integrated throughout the building to establish a coherent composition of materials. When used, exposed structural timbers or logs should express a massive appearance and reflect the natural shape, grain and inconsistencies of the timber. Turned or milled logs are not permitted. A minimum dimension of 12 inches is recommended for timbers or logs.

Log homes may be approved on any lot within Strawberry Park at Beaver Creek. Refer to the Beaver Creek Design Regulations Log Homes for additional guidelines on the design of log homes and other guidelines relative to building materials and design.

Building Colors

The selection and application of exterior building colors is one critical element of integrating a building with its site. Only those colors that blend buildings and improvements with the natural environment shall be used. Colors that call undue attention to a building or generally detract from Strawberry Park at Beaver Creek's natural setting are not permitted. When semi-transparent stain is used on siding, heavy trim, beams or other exterior wall materials, colors should be selected in concert with other building materials and natural colors found on the site. The use of muted colors are generally most appropriate on stucco walls. Brighter accent colors may be used, but should be limited to window and door trim and other detail elements of the building.

Decks, Balconies, and Patios

The size and location of decks and balconies should be determined in relationship to the form and proportions of the main building as well as site topography and views. The materials and colors of decks and balconies should be consistent with the main building and in all cases the underside of projecting decks and balconies shall be finished to match the exterior wall treatment of the building.

Patios can serve as an effective transition between indoor and outdoor spaces and can also strengthen the integration of a building with its site. As such, patios should be designed as an integral element of the home and site. Patios should be located within the homesite, unless approved otherwise by the Design Review Board. Terraced decks or patios should be used on sloping sites in order to minimize the need for retaining walls or regrading. Materials used for patios and other hard landscape surfaces such as walkways shall be consistent with the materials and colors used on the building. The use of natural stone such as flagstone, sandstone, or cobbles, is encouraged.

Fireplaces

The number and type of fireplaces and woodburning devices that may be installed in homes in Strawberry Park at Beaver Creek are regulated by the Eagle County Wood Burning Control Regulations. In addition to these regulations, fireplaces and woodburning devices may be further regulated by the Beaver Creek Resort Company. Owners should refer to the Eagle County Wood Burning Control Regulations and also consult with the Design Review Board regarding specific regulations pertaining to fireplaces and woodburning devices.

Sprinkler Systems

As required by Eagle County all homes in Strawberry Park at Beaver Creek shall include fully operational sprinkler systems. Sprinkler systems shall be designed to meet or exceed the National Fire Protection Association (NFPA) Standard 13D. It is recommended that all buildings include monitored alarm systems. Alarm systems should be designed to detect the flow of the sprinkler system and be monitored by a private monitoring company.

III. SITE PLANNING

Introduction

Site planning involves the manner in which buildings and improvements are sited on a lot. Effective site planning will maximize site attributes such as views and solar orientation while minimizing impacts to the natural features of the site and surrounding area. In order to assist in the site planning process, specific building locations have been identified for every lot in Strawberry Park at Beaver Creek. Referred to as homesites, these building locations have been situated in order to provide the best possible location for a home and also to ensure that future development minimizes impacts on the most sensitive portions of each site and on adjacent properties.

Properly siting buildings and site improvements within the homesite is an important first step to a successful design process. The characteristics of each lot will vary, and in response to these characteristics, site planning solutions within each homesite will also vary.

Building Siting

The underlying goal of site planning in Strawberry Park at Beaver Creek is for buildings and improvements to be sited and designed to be integral with the natural characteristics of a lot. As such, site planning and building design within the designated homesite must be done in concert. Buildings and improvements should blend with, and not dominate, their site. This can be accomplished by incorporating existing terrain, vegetation, and other natural features into the design of the building and site improvements. When feasible, buildings should be located within tree masses. Buildings on sloping lots should be designed to follow the natural contours of the site. Buildings and improvements should be located and designed to minimize site grading and the loss of trees. The Strawberry Park at Beaver Creek Final Plat indicates a homesite for every lot. No trees shall be removed from a lot except for 1) trees located within the homesite, 2) for encroachments from such homesite as may be permitted by the Design Review Board, 3) for access to the residence, and 4) for utilities to the residence (but only to the extent that such utilities cannot reasonably be accommodated within the driveway access).

Tennis courts are not permitted in Strawberry Park at Beaver Creek.

Building Height and Massing

In order to integrate buildings with their site, building height limits have been established that ensure the height of residences do not exceed the height of existing tree masses throughout Strawberry Park at Beaver Creek. Allowable building heights have been established for each lot in Strawberry Park at Beaver Creek. Buildings on lots 1-13, 15-17, 19, 21-24, 28 and 30 may be up to 35 feet in height. Buildings on lots 14, 18, 20, 25, 26, 27, and 29 may be up to 28 feet in height.

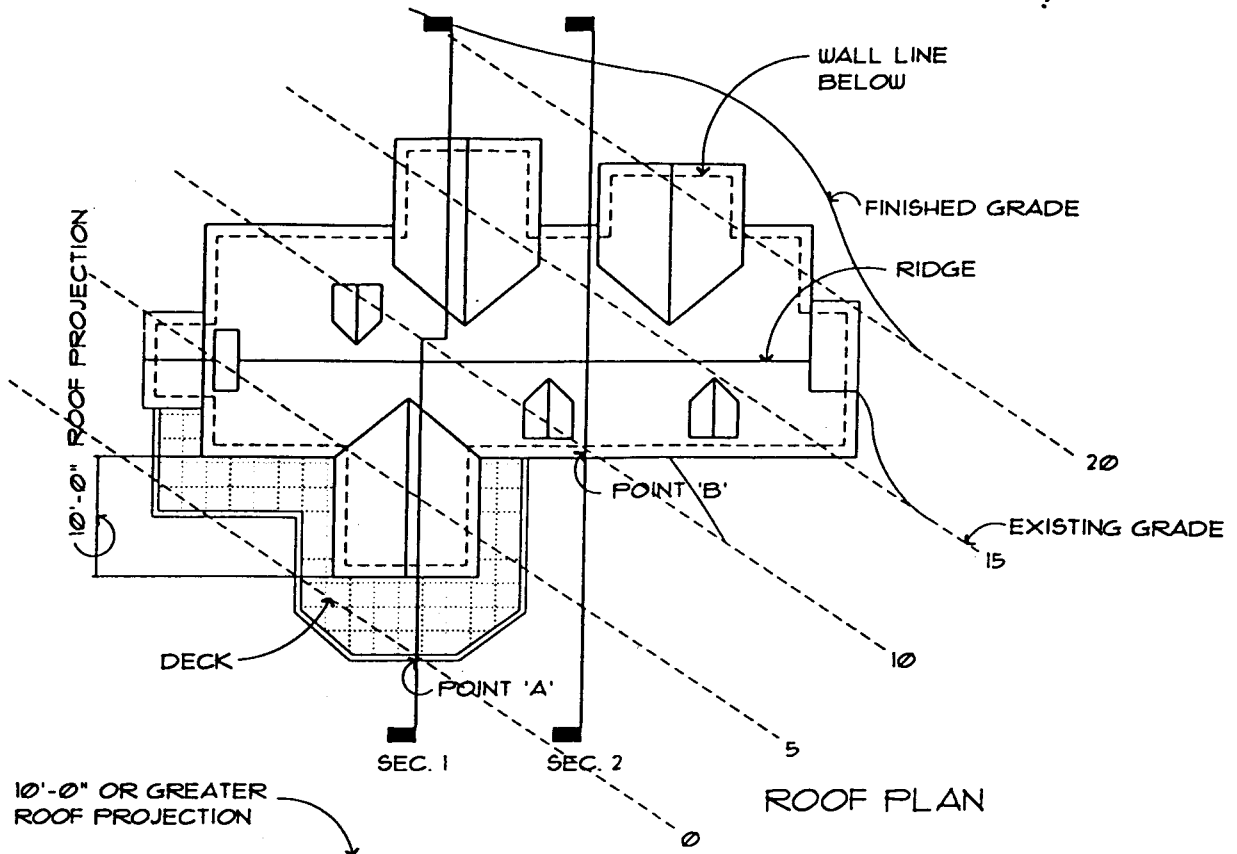
Building height shall be calculated by the following definition:

Building height means the distance, measured vertically, at any given point around a structure from existing or finished grade* (whichever is more restrictive), to the top of the first roof plane (ridge or other highest point of the roof plane), directly above said given point. If the first roof plane directly above said given point does not measure more than 10 feet on the horizontal plane, it will not be measured and the roof plane beyond and/or above said roof plane will be measured instead. Dormers and chimneys may encroach above this height limit with DRB approval if they are less than 10% of the total roof area, and are small in scale.

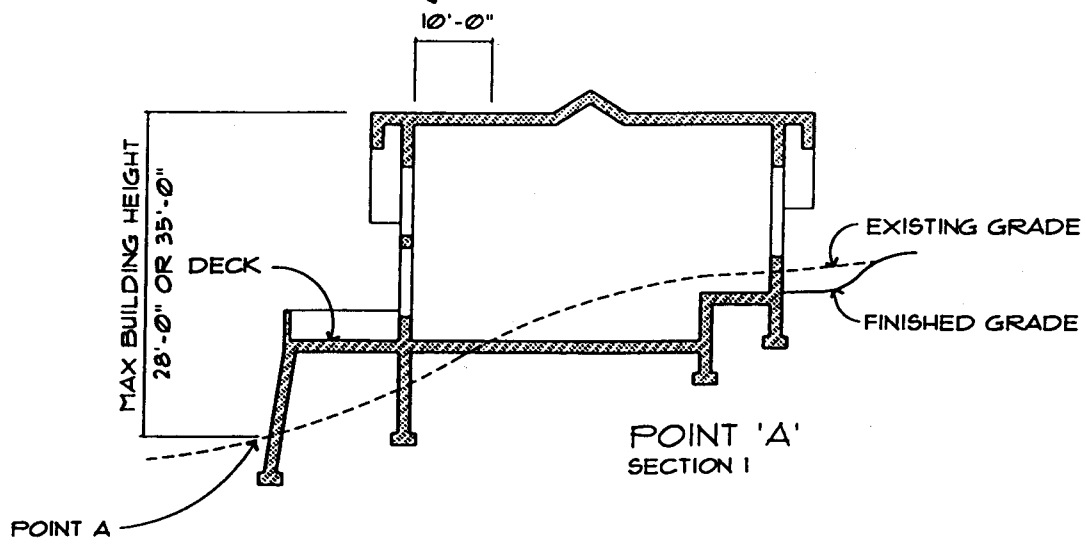
Building height also means the distance, measured vertically, at any given point on the roof of the building to the existing grade directly below said given point.

* The elevation of the base of projected retaining walls, terraces and patios and similar structures is considered as finished grade for purposes of this provision.

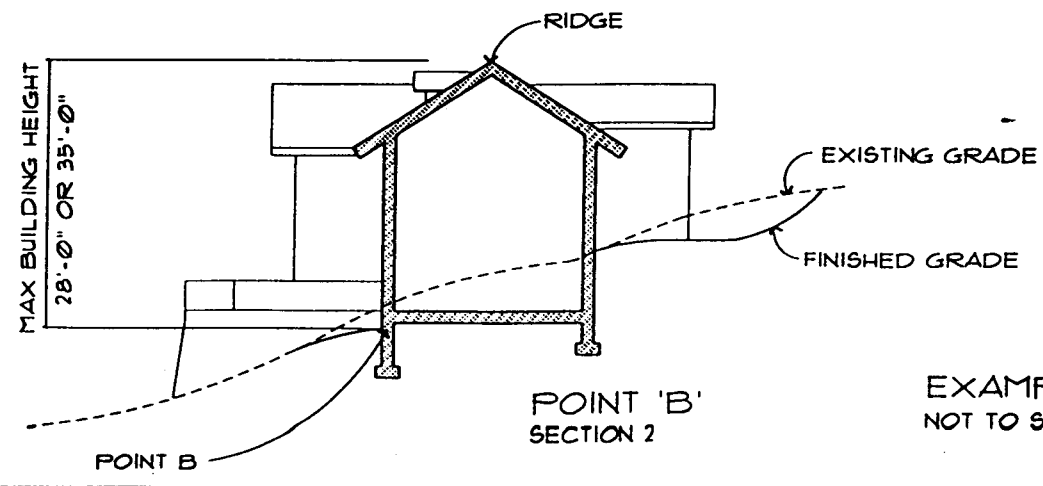
Revised June 18, 1998



ROOF PLAN

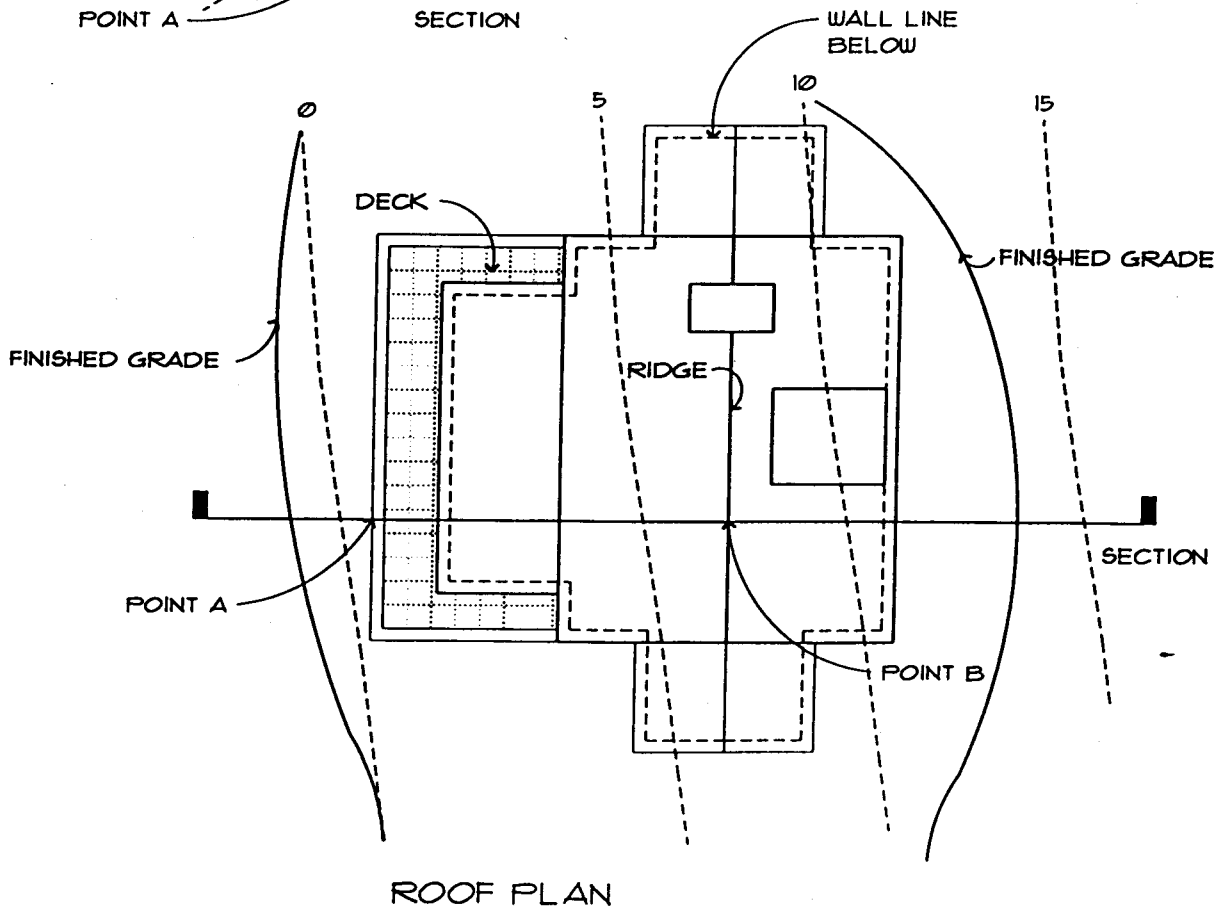
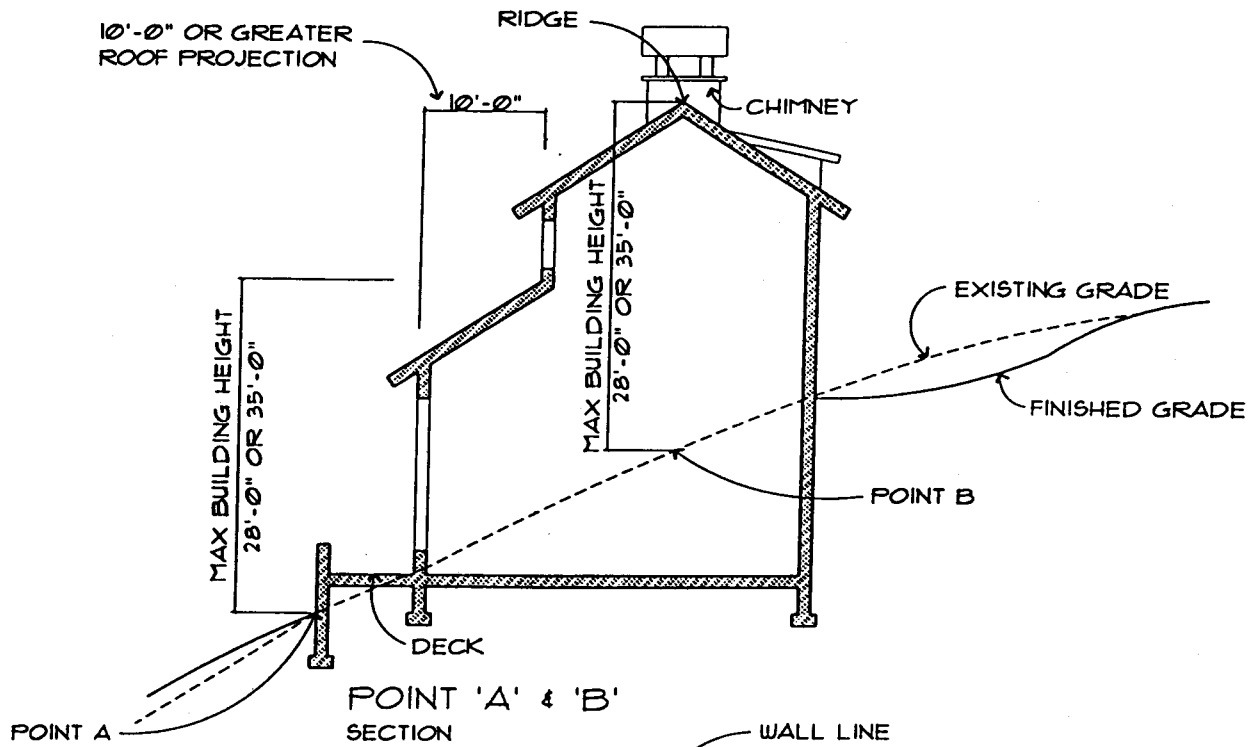


POINT 'A' SECTION I

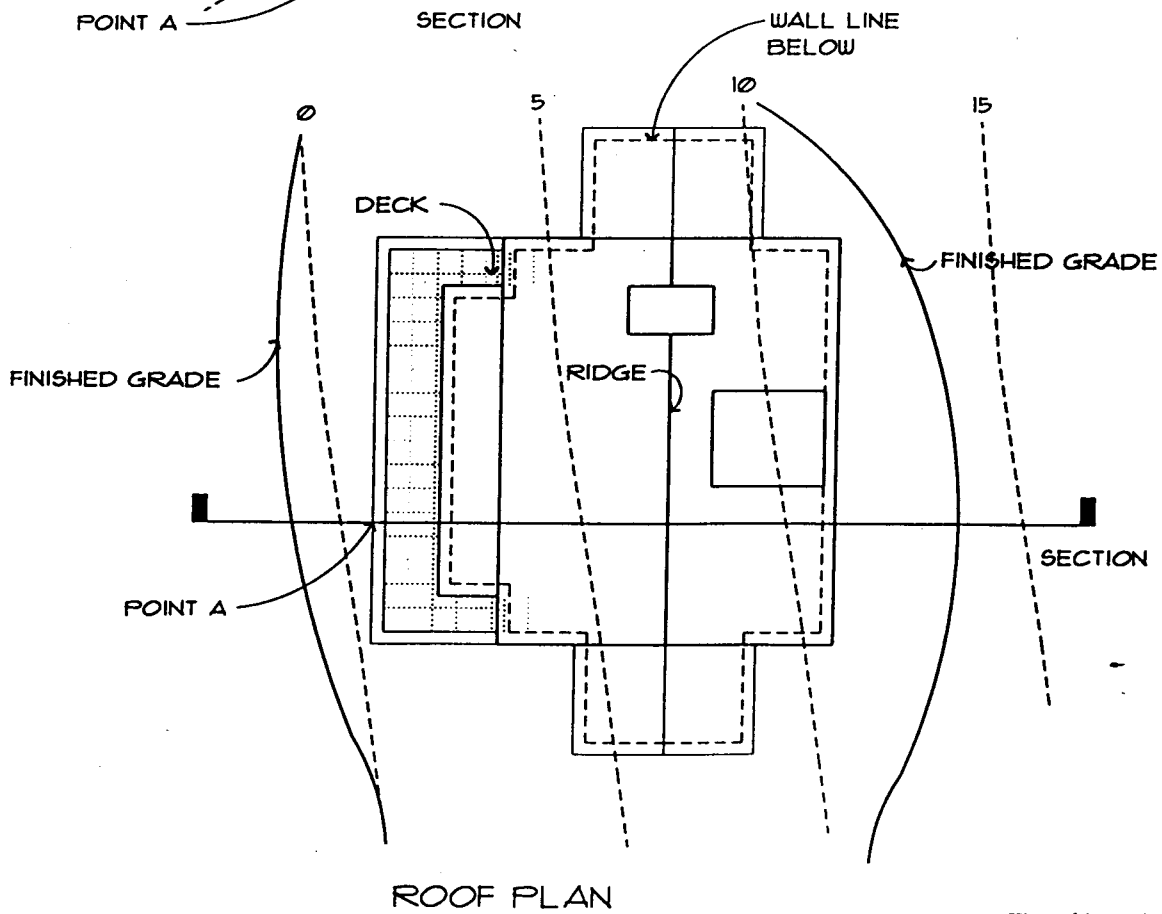
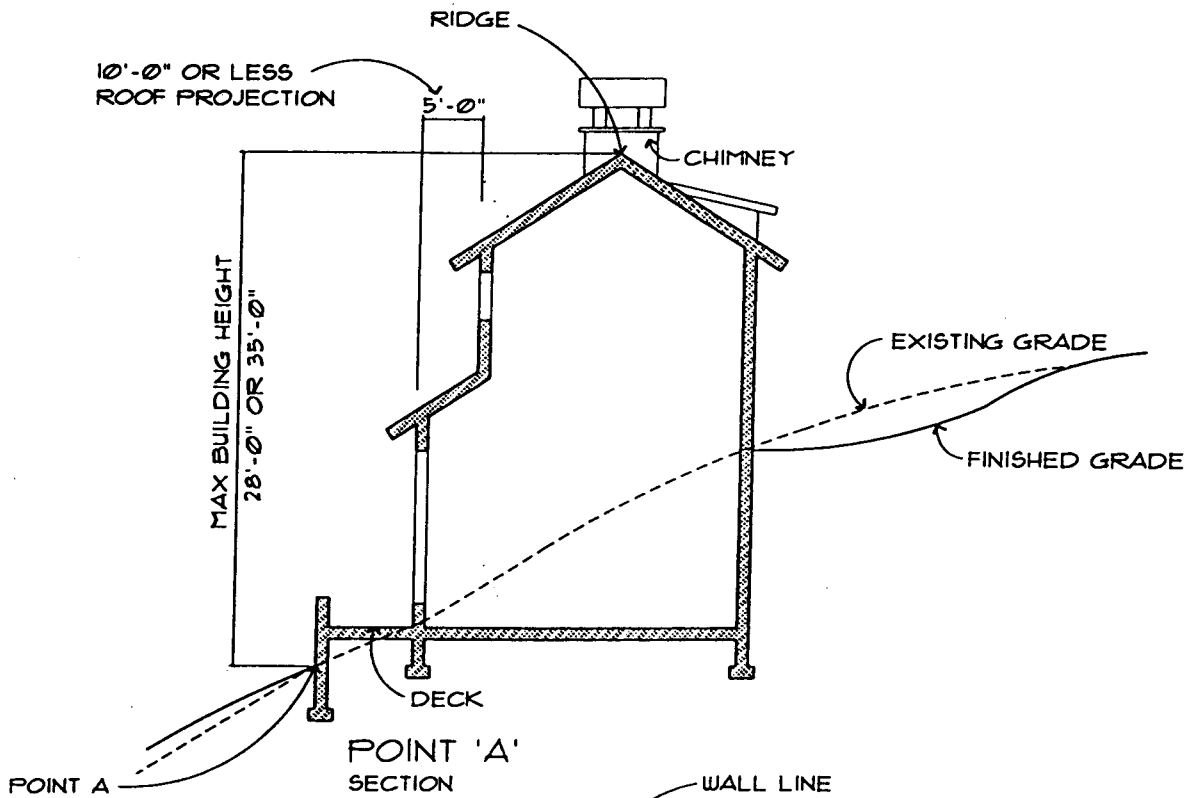


POINT 'B' SECTION 2

EXAMPLE 'A'
NOT TO SCALE



EXAMPLE 'B'
NOT TO SCALE



EXAMPLE 'C'
NOT TO SCALE

The allowable building height is not intended to imply that all portions of a building can be built to the maximum height limit. Rather, the height of a building should be designed in relation to site characteristics and the overall composition of the building. Generally, buildings in Strawberry Park at Beaver Creek should be designed with an understated human scale. Large massive structures that dominate the site and buildings with long continuous wall planes should be avoided.

Appropriate building scale and massing can be accomplished in a variety of ways. Variations in building height and off-sets in building elevations can effectively reduce building mass. Many homesites in Strawberry Park at Beaver Creek are located on gently sloping lots. The mass of a structure on a sloping lot can be reduced by stepping building mass with the natural contours of a lot. Building mass can also be reduced by designing major roof ridges to run parallel with site contours. A composition of smaller architecturally integrated buildings may have a much more comfortable scale than a single large building. Finally, bay windows, dormers and decks can be incorporated into the design of a home to reinforce a human scale.

Skiway Easements

Each lot in Strawberry Park at Beaver Creek has been designed to allow for ski-in and ski-out access to Beaver Creek Mountain. In certain cases, ski-in/ski-out access will be achieved by Strawberry Park at Beaver Creek owners traversing across adjoining lots. The Strawberry Park at Beaver Creek Ski-In/Ski-Out Plan identifies routes to each homesite. Related skiway easements are indicated on the Strawberry Park at Beaver Creek Final Plat.

No buildings or improvements shall be located within designated skiway easements. Site grading within skiways shall be avoided. However, when necessary, site grading shall be designed in a manner that will not interfere with the ability of skiers to utilize skiways. The Ski-In/Ski-Out Plan should be consulted prior to initiating the design of a home in Strawberry Park at Beaver Creek.

Grading

The need for grading and cut and fill slopes can be minimized by the manner in which homes and improvements are designed on a lot. When grading is required, it should be limited to no more than what is necessary to accommodate the development of a home and driveway access. Grading should generally be confined to within the homesite and for necessary driveway access. Site grading should be designed in order to minimize the loss of existing trees. When grading is required around the perimeter of a site, it shall interface with the existing contours of adjacent properties.

Drainage

The modification of existing drainage ways or the creation of new drainage ways in order to create landscape water features is not permitted in Strawberry Park at Beaver Creek.

Utilities

Satellite dishes are to be regulated by the rules and regulations adopted by the Beaver Creek Design Review Board.

Driveways

Driveways should not exceed 12' in width provided, however, that exceptions to this dimension may be permitted for parking areas adjacent to garages and for wider driveways that may otherwise be required by the Design Review Board or other regulatory agencies. Acceptable driveway materials include asphalt, concrete, concrete unit pavers or other driveway materials approved by the Design Review Board. In order to minimize site impacts, loop driveways are discouraged.

Entry pylons located at the entry to homesites may be permitted, subject to approval of the Design Review Board. Entry pylons shall be located within property boundaries. Pylons should be understated, and be designed with natural materials consistent with the colors and materials used on the home. Entry pylon design should convey the same design theme conveyed by the Strawberry Park at Beaver Creek entry sign. Lighting of entry pylons should be accomplished utilizing low-level down lighting utilizing horizontal cut-offs.

Fences

Unless otherwise approved by the Design Review Board, all fencing should be located entirely within the homesite. Arbitrarily defining a property boundary or homesite with fencing is not permitted. Chain link fencing may be used for dog runs. All dog runs shall not exceed 600 square feet, and shall have an enclosed top. Dog runs should be located within the homesite immediately adjacent to the residence, unless otherwise approved by the Design Review Board. Chain link fencing used for dog runs shall be vinyl clad in a dark green or other suitable color.

IV. LANDSCAPE ARCHITECTURE

Introduction

The natural landscape of Strawberry Park at Beaver Creek is characterized by a series of upland bench areas surrounded by generally steeper terrain. Vegetation throughout most of Strawberry Park at Beaver Creek consists of relatively dense stands of aspen and conifer forests with brushy understory. Open, grass parkland is also prevalent throughout the site. A primary goal of the planning and design of Strawberry Park at Beaver Creek is to maintain and enhance this natural landscape. This will be accomplished by limiting most site improvements to within the homesite of each lot and by maintaining the remaining portions of each lot as natural undisturbed open space.

The goal of landscape design is to introduce plant and landscape materials within the homesite that integrate buildings and improvements with the site and to enhance the natural landscape of areas outside the homesite. Formal manicured lawns shall be limited to within the homesite only. Portions of a lot located outside of the homesite should be maintained in their natural condition. All landscape plans should address two distinct areas of a lot - the homesite and those portions of a lot that are outside of the homesite.

Retaining Walls

Re-grading of site contours is generally preferred over the use of retaining walls. However, retaining walls may be appropriate under certain circumstances. Retaining walls allow for the greatest vertical change in elevation in the shortest horizontal distance. In order to minimize site impacts, retaining walls may represent a viable alternative to re-grading.

Retaining walls shall be constructed of materials that are consistent with the materials and colors of the building and other site improvements. The use of stone is encouraged. Exposed concrete or cinder block is not permitted. Maximum total vertical exposure of a retaining wall shall not exceed six feet. In order to retain cuts greater than six feet, stepped or terraced retaining walls should be used. In certain cases where retaining walls are not visible from adjacent properties or roadways, the Design Review Board may approve retaining walls up to 12 feet in height.

Lighting

In order to minimize the visibility of development within Strawberry Park at Beaver Creek, uplighting of trees and the illumination of landscaping is prohibited.

Wildfire

Portions of Strawberry Park at Beaver Creek are located in wild fire hazard areas. A number of measures have been implemented that reduce the risk of wildfire in Strawberry Park at Beaver Creek. For example, all homes are required to have sprinkler systems and all wood shake roofs are required to be fire retardant. In addition, existing and proposed ski runs and roadways provide natural fire breaks. Nonetheless, it is important that home owners be aware of the possibility of wildfire and also that the threat of wildfire can be greatly reduced with thoughtful planning and preventative landscape maintenance.

The goal of fire-safe landscaping is to reduce the amount of potential fire fuel immediately surrounding a home. Along with the use of fire-resistant plant material, a 30-foot safety zone in all directions around a home is recommended. The following actions are recommended within this zone:

- Dispose of slash and debris left from thinning and periodically mow dry grasses and vegetation.
- Stack firewood away from the home.
- Maintain an irrigated greenbelt.
- Remove dead limbs, leaves, needles and other materials. This should also be done in areas outside of the safe zone.

These suggestions are intended only as general guidelines. Specific fire-safety considerations should be determined based on the characteristics of each lot.

V. ENERGY CONSERVATION

The Eagle County Resource Conservation Award is a voluntary incentive program designed to encourage energy and natural resource conservation in new and existing homes in Eagle County. In order to qualify for this award, homeowners incorporate energy conserving measures into the design and construction of their home. The Eagle County Building Department then evaluates the energy conserving measures to determine whether an award has been earned. The following list is an example of some of the energy conservation options that should be considered:

- Bench buildings into hillsides.
- Locate trees to provide windbreaks.
- Airlock/vestibules.
- Radiant floor heating.
- Super insulation, thermopane windows, weatherstripping, etc.
- Water conserving toilets and flow-restricted faucets.

Strawberry Park at Beaver Creek homeowners are encouraged to participate in this program. Please contact the Eagle County Building Department for additional information.

